



CITY OF CAPE GIRARDEAU, MISSOURI

City Council Agenda

Bob Fox, Mayor
Dan Presson, Ward 1
Shelly Moore, Ward 2
Victor Gunn, Ward 3
Robbie Guard, Ward 4
Ryan Essex, Ward 5
Stacy Kinder, Ward 6

City Council Chambers
City Hall
401 Independence

Agenda Documents, Videos
Minutes, and Other Information:
www.cityofcape.org/citycouncil

May 6, 2019
5:00 PM

Invocation

Leonard Cook of St. John the Theologian in Cape Girardeau

Pledge of Allegiance

Study Session

No action will be taken during the study session

Presentations

- National Historic Preservation Month Proclamation
- Beautiful Business Property of the Month

Communications/Reports

- City Council
Staff

Items for Discussion

- Emergency Solutions Grant (ESG) Presentation
- Appearances regarding items not listed on the agenda
This is an opportunity for the City Council to listen to comments regarding items not listed on the agenda. The Mayor may refer any matter brought up to the City Council to the City Manager if action is needed. Individuals who wish to make comments must first be recognized by the Mayor or Mayor Pro Tem. Each speaker is allowed 5 minutes. The timer will buzz at the end of the speaker's time.
- Agenda review

Regular Session

Call to Order/Roll Call

Adoption of the Agenda

Public Hearings

1. A public hearing to consider a request to rezone property at 3269 Hopper Road from R-1 (Single-Family Suburban Residential District) to C-1 (General Commercial District). (Item 10; BILL NO. 19-67)
2. A public hearing to discuss an application to be submitted for the Fiscal Year 2019 Community Development Block Grant (CDBG) program, on behalf of the Community Caring Council, for funding to purchase and renovate a building located at 40 South Sprigg Street that will be utilized as a Community Caring Council support services center.

Appearances regarding Items Listed on the Agenda

Individuals who wish to make comments regarding items listed on the agenda must first be recognized by the Mayor or Mayor Pro Tem. Each speaker is allowed 5 minutes and must stand at the public microphone and state his/her name and address for the record. The timer will buzz at the end of the speaker's time.

Consent Agenda

The Consent Agenda is a meeting method to make City Council meetings more efficient and meaningful to the members of the audience. All matters listed within the Consent Agenda have been distributed to each member of the Cape Girardeau City Council for reading and study, are considered to be routine, and will be enacted by one motion of the council with no separate discussion. Staff recommends approval of the Consent Agenda. If separate discussion is desired, that item may be removed from the Consent Agenda and placed on the Regular Agenda by request of a member of the City Council.

3. Approval of the April 15, 2019, City Council regular session and closed session minutes.
4. BILL NO. 19-55, an Ordinance approving and adopting fee increases for Parks and Recreation Department Services at the Cape Splash Family Aquatics Center, in the City of Cape Girardeau, Missouri. Second and Third Readings.
5. BILL NO. 19-61, an Ordinance approving the Record Plat of Williamsburg Phase 4. Second and Third Readings.
6. BILL NO. 19-62, an Ordinance appropriating funds from the Parks and Recreation Fund for expenditures related to repairs and maintenance at the Cape Splash Family Aquatics Center, in the City of Cape Girardeau, Missouri. Second and Third Readings.
7. Bill No. 19-64, an Ordinance calling an election in the City of Cape Girardeau, Missouri, on the question whether the City shall extend the existing sales tax of one-fourth of one percent for the purpose of funding capital improvements; designating the time of holding the election; authorizing and directing the City Clerk to give notice of the election. Second and Third Readings.
8. Bill No. 19-71, a Resolution authorizing the City Manager to execute an agreement with Apex Paving Company for the 2019 Asphalt Overlay Program, in the City of Cape Girardeau, Missouri. Reading and Passage.
9. Acceptance of public improvements to serve Williamsburg Phase 4.

Items Removed from Consent Agenda

New Ordinances

10. BILL NO. 19-67, an Ordinance amending Chapter 30 of the Code of Ordinances of the City of Cape Girardeau, Missouri, by changing the zoning of property located at 3269 Hopper Road, in the City and County of Cape Girardeau, Missouri, from R-1 to C-1. First Reading.
11. BILL NO. 19-68, an Ordinance approving the Record Plat of 1704 David Subdivision. First Reading.
12. BILL NO. 19-69, an Ordinance approving the Record Plat of C & T Seib Subdivision. First Reading.
13. BILL NO. 19-72, an Ordinance approving the Record Plat of The Estates at Hopper Crossing. First Reading.
14. BILL NO. 19-70, an Ordinance approving the Plat of Right of Way Dedication for an Extension of Walnut Street. First Reading.
15. BILL NO. 19-73, an Ordinance authorizing the Mayor to execute a Special Warranty Deed to Rhodes Properties, L.C. , for property along Southern Expressway Right of Way, in the City of Cape Girardeau, Missouri. First Reading.
16. BILL NO. 19-74, an Ordinance amending Chapter 26 of the Code of Ordinances of the City of Cape Girardeau. **First, Second and Third Readings.**

Appointments

Other Business

Meeting Adjournment

Closed Session

The City Council of the City of Cape Girardeau, Missouri, may, as a part of a study session or regular or special City Council meeting, vote to hold a closed session to discuss issues listed in RSMo. Section 610.021, including but not limited to: legal actions, causes of legal action or litigation, leasing, purchasing or sale of real estate, hiring, firing, disciplining, personnel issues, or confidential or privileged communications with its attorneys.

- Specifically, the City Council will hold a closed session to discuss legal actions and litigation, confidential communications with legal counsel, pursuant to RSMo. Sections 610.021(1).

Memos

- Appointments to the Board of Appeals

Advisory Board Minutes

- Advisory Board Minutes

Staff: Ryan Shrimplin, AICP - City
Agenda: Planner
5/6/2019

AGENDA REPORT
Cape Girardeau City Council

19-94

SUBJECT

A public hearing to consider a request to rezone property at 3269 Hopper Road from R-1 (Single-Family Suburban Residential District) to C-1 (General Commercial District).

EXECUTIVE SUMMARY

A public hearing has been scheduled for May 6, 2019 to consider a request to rezone property at 3269 Hopper Road. An ordinance approving the rezoning is on this agenda as a separate item.

BACKGROUND/DISCUSSION

An application has been submitted to rezone property at 3269 Hopper Road from R-1 (Single-Family Suburban Residential District) to C-1 (General Commercial District). The subject property contains a single-family dwelling, which will be vacated and demolished if the rezoning request is approved.

The immediately surrounding properties are zoned C-1 (General Commercial District) to the north, northwest, and west, and R-1 (Single-Family Suburban Residential District) to the southwest, south, and east. This area consists of developed and undeveloped commercial properties, churches, single-family dwellings, and public parks/open space. The Comprehensive Plan's Future Land Use and Infrastructure Map shows the subject property as Mixed Use.

A public hearing has been scheduled for May 6, 2019 to consider the rezoning request. An ordinance approving the rezoning is on this agenda as a separate item.

SUSTAINABILITY: ECONOMIC, ENVIRONMENTAL AND SOCIAL IMPACTS

In considering a rezoning request, both the Planning and Zoning Commission and the City Council must determine if the proposed zoning district is reasonable and in reasonable conformity with the existing uses and value of the immediately surrounding properties. The subject property is located at the intersection of Hopper Road and North Mt. Auburn Road. The other three properties at this intersection are zoned C-1. Given the location of the property at the intersection of two minor thoroughfares and the zoning of the other properties at the intersection, the proposed zoning district is reasonable and in reasonable conformity with the surrounding properties.

STAFF RECOMMENDATION

The staff report to the Planning and Zoning Commission recommended approval of the rezoning request.

BOARD OR COMMISSION RECOMMENDATION

The Planning and Zoning Commission held a public hearing on April 10, 2019 and recommended approval of the rezoning request by a vote of 7 in favor, 0 in opposition, and 1 abstaining.

PUBLIC OUTREACH

The City Council's public hearing was advertised in the Southeast Missourian on April 21, 2019. In addition, a sign containing the date, time, location and subject of the Planning and Zoning Commission and City Council public hearings was posted on the property. Notices were also mailed to the adjacent property owners.

ATTACHMENTS:

Name:

- 📎 [Staff_Review-Referral-Action_Form.pdf](#)
- 📎 [Map - Zoning - 3269 Hopper Road.pdf](#)
- 📎 [Map - FLU- 3269 Hopper Road.pdf](#)
- 📎 [Application - 3269 Hopper Road Rezoning.pdf](#)

Description:

- 3269 Hopper Road - Staff RRA Form
- 3269 Hopper Road - Zoning Map
- 3269 Hopper Road - FLU Map
- 3269 Hopper Road - Application

CITY OF CAPE GIRARDEAU, MISSOURI

City Staff Review, Referral and Action on Rezoning/Special Use Permit Application

FILE NO. **1383**

LOCATION: 3269 Hopper Road

STAFF REVIEW & COMMENTS:

Beth McFerron, on behalf of Mary Armbruster, is requesting to rezone property at 3269 Hopper Road from the R-1 (Single-family Suburban Residential) district to the C-1 (General Commercial) district. SEE STAFF REPORT FOR FURTHER INFORMATION

By 83%.
City Planner

3/28/19
Date

W. Eric Cunningham
City Attorney

MARCH 28, 2019
Date

CITY MANAGER REFERRAL TO THE PLANNING AND ZONING COMMISSION:

[Signature]
City Manager

3-28-19
Date

Planning & Zoning Commission

Public Hearing Sign Posting Date: _____ Public Hearing Date: 04/10/19

RECOMMENDED ACTION:

	Favor	Oppose	Abstain
Larry Dowdy	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jeff Glenn	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kevin Greaser	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Derek Jackson	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Patrick Koetting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	Favor	Oppose	Abstain
Bruce Skinner	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Doug Spooler	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ed Thompson	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tom Welch	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

VOTE COUNT: 7 Favor 0 Oppose 1 Abstain

COMMENTS:

CITIZENS COMMENTING AT MEETING:

Kevin Greaser
Kevin Greaser
Planning & Zoning Commission Secretary

City Council Action

Posting Dates: Sign _____ Newspaper 4-21-19 Public Hearing Date: 5-6-19

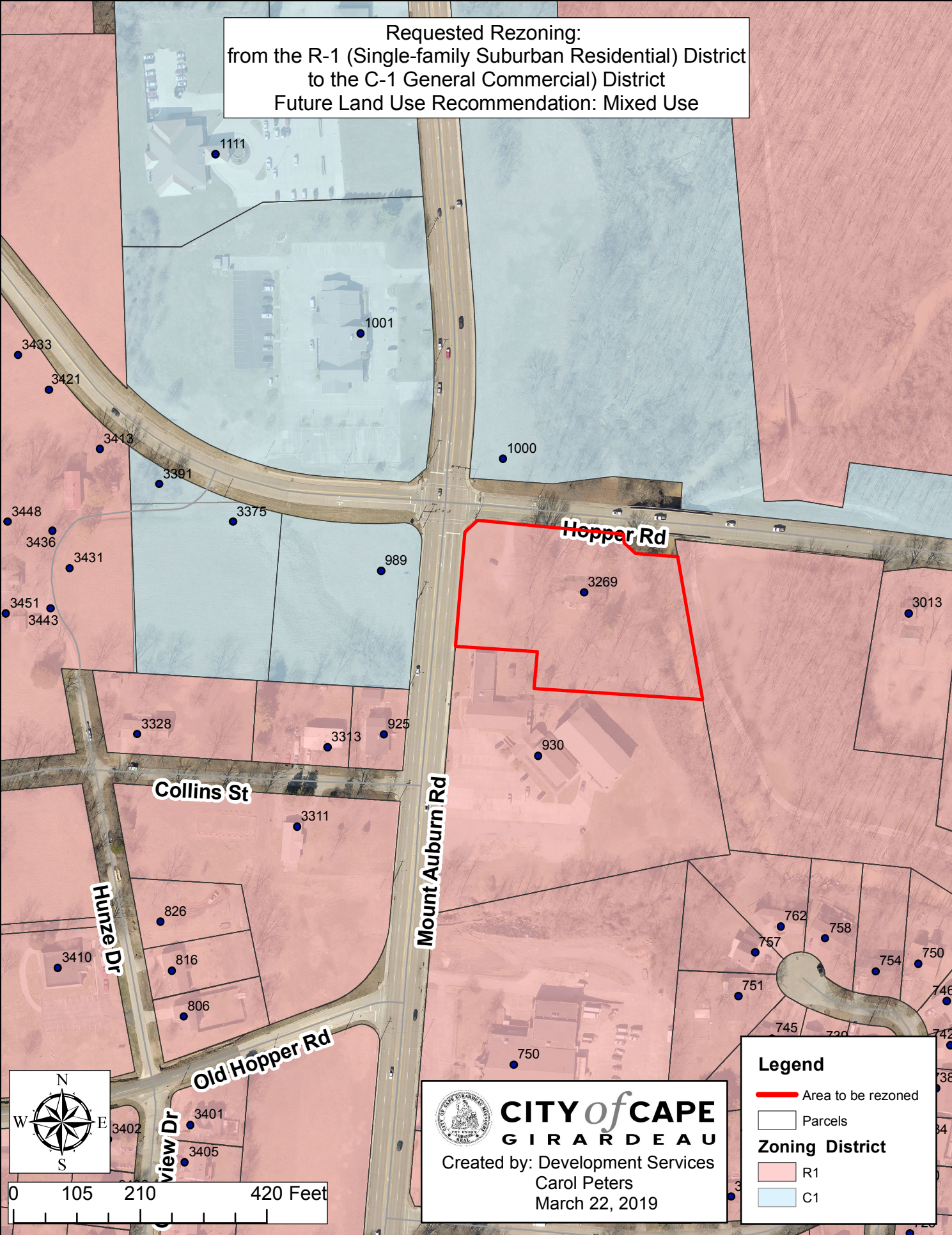
Ordinance 1st Reading _____ Ordinance 2nd & 3rd Reading: _____

VOTE COUNT: _____ Favor _____ Oppose _____ Abstain

ORDINANCE # _____ **Effective Date:** _____

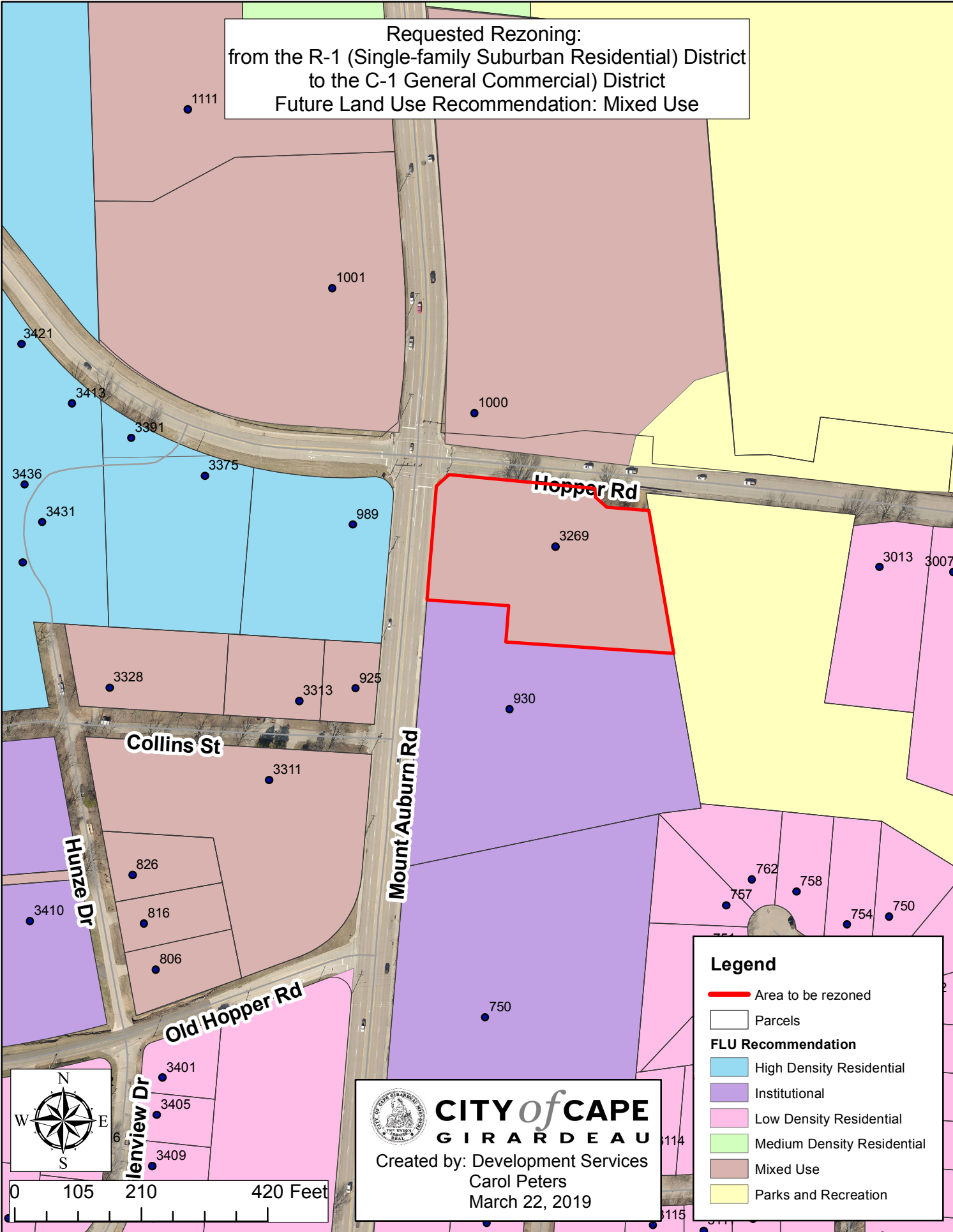
Rezoning Request - 3269 Hopper Road

Requested Rezoning:
from the R-1 (Single-family Suburban Residential) District
to the C-1 General Commercial) District
Future Land Use Recommendation: Mixed Use



Rezoning Request - 3269 Hopper Road

Requested Rezoning:
from the R-1 (Single-family Suburban Residential) District
to the C-1 (General Commercial) District
Future Land Use Recommendation: Mixed Use





REZONING / SPECIAL USE PERMIT APPLICATION

CITY of CAPE GIRARDEAU

DEVELOPMENT SERVICES DEPARTMENT, 401 INDEPENDENCE ST, CAPE GIRARDEAU, MO 63703 (573) 339-6327

Property Address/Location

3269 Hopper St. Cape Girardeau, MO 63701

Applicant

Beth M. Fernon for Armbruster Family

Property Owner of Record (if other than Applicant)

Mary L. Armbruster

Mailing Address

City, State, Zip

Mailing Address

City, State, Zip

3269 Hopper

Cape Girardeau

3269 Hopper

Cape Girardeau

Telephone

Email

Telephone

Email

(573) 270-9575 beth@hlmrealty.com

jcrites@semo.edu

Contact Person (If Applicant is a Business or Organization)

(Attach additional owners information, if necessary)

Beth M. Fernon

Type of Request: Rezoning, Special Use Permit, or Both

C-1

Existing Zoning District

R-1

Proposed Zoning District (Rezoning requests only)

C-1

Legal description of property to be rezoned and/or upon which the special use is to be conducted

attached

Describe the proposed use of the property.

This business is an oral & maxillofacial surgery that focuses on treating patients from birth to end of life with head, face and neck clinical needs. They provide surgical services as well as non-surgical for skin care, sleep apnea treatment, cancer treatment, tooth extraction, dental implants, cosmetic surgery, trauma & reconstruction and congenital facial deformity treatment among others.

Application continues on next page

OFFICE USE ONLY

Date Received & By

3/20/19

File No.

1383

MUNIS Application No.

8640

Planning & Zoning Commission Recommendation

Date

City Council Final Action

Date

Special Use Criteria (Special Use Permit requests only)

Explain how the Special Use Permit request meets the criteria below. Attach additional sheets, if necessary.

- 1) The proposed special use will not substantially increase traffic hazards or congestion.
- 2) The proposed special use will not substantially increase fire hazards.
- 3) The proposed special use will not adversely affect the character of the neighborhood.
- 4) The proposed special use will not adversely affect the general welfare of the community.
- 5) The proposed special use will not overtax public utilities.

ADDITIONAL ITEMS REQUIRED

See Instructions for more
information.

In addition to this completed application form, the following items must be submitted:

- ✓ Application fee (\$135.00 payable to City of Cape Girardeau + additional \$80 for Planned Development rezonings)
- ✓ One (1) list of names and mailing addresses of adjacent property owners
- ✓ One (1) set of mailing envelopes, stamped and addressed to adjacent property owners
- ✓ One (1) full size copy of a plat or survey of the property, if available
- ✓ One (1) full size set of plans, drawn to an appropriate scale, depicting existing features to be removed, existing features to remain, and all proposed features such as: buildings and structures, paved areas, curbing, driveways, parking stalls, trash enclosures, fences, retaining walls, light poles, detention basins, landscaping areas, freestanding signs, etc. (Planned Development rezonings and Special Use Permits only)
- ✓ Digital file of the plans in .pdf format (Planned Development rezonings and Special Use Permits only; can be emailed)
- One (1) set of Planned Development documents (Planned Development rezonings only)

CERTIFICATIONS

The undersigned hereby certifies that:

- 1) They are the Property Owner(s) of Record for the property described in this application;
- 2) They acknowledge that an approved Special Use Permit becomes null and void if the use for which the permit was granted does not commence within twelve (12) months of the approval date, unless an extension has been granted; and
- 3) They acknowledge that they are responsible for ensuring that all required licenses and permits are obtained prior to commencing any use or work on the property.

Wayne Armbruster

Property Owner of Record Signature and Printed Name

3/20/19

Date

(Provide additional owners signatures and printed names in the space below, if applicable)

JUAN CRITES THOMAS H. ARMBRUSTER

The undersigned hereby certifies that they are an agent duly authorized by the Property Owner(s) of Record to file this application on their behalf, and that the Property Owner(s) of Record hereby agree to the above certifications.

Elizabeth (Beth) McFerron

Applicant Signature and Printed Name

3/20/19

Date

QUIT-CLAIM DEED

013456

THIS INDENTURE, Made on the 18th day of October, A.D., One Thousand Nine Hundred and Ninety-Four, by and between **JOSEPH W. ARMBRUSTER AND MARY G. ARMBRUSTER, Trustees of the Armbruster Revocable Living Trust Agreement dated June 30, 1988**, of the County of Cape Girardeau, State of Missouri, parties of the first part, and **MARY G. ARMBRUSTER, Trustee of the Mary G. Armbruster Revocable Living Trust dated October 18, 1994**, and of the County of Cape Girardeau, State of Missouri, party of the second part, whose mailing address is 3269 Hopper Road, Cape Girardeau, Missouri, 63701.

WITNESSETH, THAT THE SAID PARTIES OF THE FIRST PART, in consideration of the sum of Ten Dollars and Other Good and Valuable Consideration to them paid by the said party of the second part, the receipt for which is hereby acknowledged, do, by these presents, REMISE, RELEASE and FOREVER QUIT-CLAIM unto the said party of the second part, the following described lots, tracts or parcels of land, lying, being and situate in the County of Cape Girardeau, and State of Missouri to wit:

A parcel of land containing 1.423 acres, more or less, located in Out Lot No. 78B of U.S. Survey No. 2199, in Township 31 North, Range 13 East, described as follows:

Start at the Northwest corner of said Out Lot 78B; thence South 6 deg. 0 min. West along West line of said Survey No. 2199, 46.5 feet; thence South 81 deg. 20' East, 165.0 feet to a point in the South right-of-way line of Hopper Road for the point of beginning; thence continue South 81 deg. 20 min. East along said South line, 225.0 feet for a corner; thence South 8 deg. 54 min. East 246.1 feet for a corner; thence North 85 deg. 30 min. West, 280.0 feet for a corner; thence North 4 deg. 10 min. East, 255.7 feet to the point of beginning and contains 1.423 acres, more or less.

TO HAVE AND TO HOLD THE SAME, with all the rights, immunities, privileges and

GENERAL WARRANTY DEED

BOOK 0320 PAGE 947
004081

THIS INDENTURE, Made on the 13 day of MARCH, 1998,
by and between MARY G. ARMBRUSTER, TRUSTEE OF THE MARY G.
ARMBRUSTER REVOCABLE LIVING TRUST, Party of the First Part, and the CITY
OF CAPE GIRARDEAU, MISSOURI, a Municipal Corporation, of the County of Cape
Girardeau, in the State of Missouri, Party of the Second Part: 401 Independence, Cape
Girardeau, Missouri 63703.

WITNESSETH, That the said party of the First Part, in consideration of the sum of
Ten Dollars (\$10.00) and other good and valuable consideration, to them paid by the said
party of the Second Part, the receipt of which is hereby acknowledged, does by these
presents, Grant, Bargain and Sell, Convey and Confirm, unto the said party of the Second
part, its successors and assigns, the following described Lots, Tracts or parcels of Land,
lying, being and situate in the County of Cape Girardeau and State of Missouri, to-wit:

**THAT PART OF OUTLOT 78A AND 78B, IN UNITED STATES
PRIVATE SURVEY 2199, IN TOWNSHIP 31 NORTH, RANGE 13 EAST,
IN THE CITY AND COUNTY OF CAPE GIRARDEAU, STATE OF
MISSOURI:**

Commence at the Southwest Corner of said Outlot 78A; thence South 83 degrees 09'
37" East, along the South line of said Outlot 78A, 54.15 feet, to Missouri State Plane
Coordinate Northing 543177.67 and Easting 1090018.89, the place of beginning;
thence South 04 degrees 44' 36" West, 53.60 feet; thence North 49 degrees 59' 36"
East, 28.16 feet; thence South 84 degrees 45' 24" East, 243.06 feet; thence South 05
degrees 14' 36" West, 14.93 feet; thence South 47 degrees 53' 12" East, 25.11 feet, to
Missouri State Plane Coordinate Northing 543086.49 and Easting 1090294.86;
thence South 84 degrees 45' 24" East, 56.66 feet; thence North 11 degrees 46' 01"
West 57.08 feet; thence South 83 degrees 09' 37" East, 27.54 feet; thence North 05
degrees 38' 19" East, 66.18 feet; thence North 84 degrees 45' 24" West, 107.94 feet;
thence South 83 degrees 56' 01" West, 101.98 feet; thence North 84 degrees 45' 24"
West, 143.76 feet; thence South 04 degrees 44' 36" West, 36.40 feet to the place of
beginning and containing 0.67 acres, more or less.

TO HAVE AND TO HOLD the premises aforesaid, with all and singular the rights,
privilege, appurtenances and immunities thereto belonging or in anywise appertaining unto
the said party of the Second Part, and unto its successors and assigns, FOREVER, the said
party of the First Part hereby covenanting that they are lawfully seized of an indefeasible
Estate in Fee in the premises herein conveyed; that they have good right to convey the same;
that the said premises are free and clear of any encumbrance done or suffered by them or
those under whom they claim, and that they will WARRANT AND DEFEND the title to
the said premises unto the said party of the Second Part, and unto its successors and assigns,
FOREVER, against the lawful claims and demands of all persons whomsoever.

IN WITNESS WHEREOF, the said party of the First Part have hereunto set their
hand the day and year first above written.

Re:

ARMBRUSTER'S PROPERTY
FOR RE-ZONING

C-1

3269 HOPPER ST.

CAPE GIRARDEAU, MO 63701

Names for properites owners adjacent to property

North West corner
Ford Investments Parnership LC
1001 N. Mount Aubrun Rd.
Cape Girardeau, MO 63701

South East
Mt. Auburn Christian
930 N. Mount Auburn
Cape Girardeau, MO 63701

South West
Bennett Denistry 989 mt Auburn
Ross Bennett
3 Starwood Dr.
Cape Girardeau, MO

Hopper
City of Cape Girardeau

Hopper/Mt. Auburn (NE corner)
Armbruster property

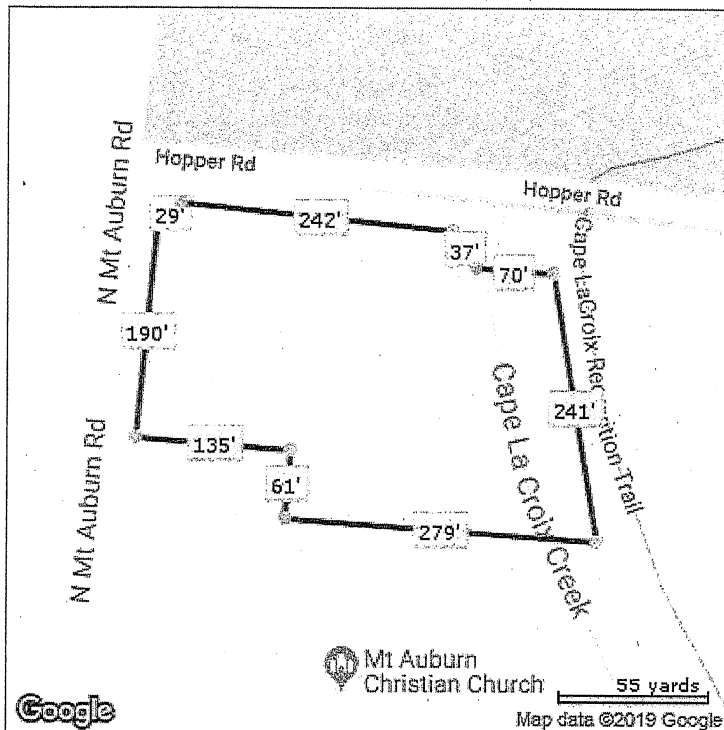
210

- (2) The Confidence Score is a measure of the extent to which sales data, property information, and comparable sales support the property valuation analysis process. The confidence score range is 60 - 100. Clear and consistent quality and quantity of data drive higher confidence scores while lower confidence scores indicate diversity in data, lower quality and quantity of data, and/or limited similarity of the subject property to comparable sales.
- (3) The FSD denotes confidence in an AVM estimate and uses a consistent scale and meaning to generate a standardized confidence metric. The FSD is a statistic that measures the likely range or dispersion an AVM estimate will fall within, based on the consistency of the information available to the AVM at the time of estimation. The FSD can be used to create confidence that the true value has a statistical degree of certainty.

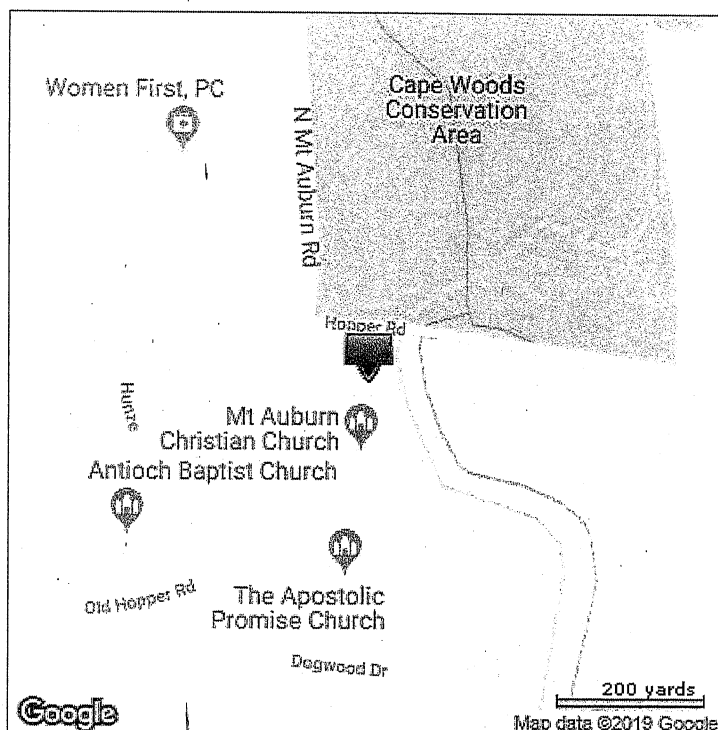
Last Market Sale & Sales History

Owner Name: **Armbruster Mary G**

Property Map



*Lot Dimensions are Estimated



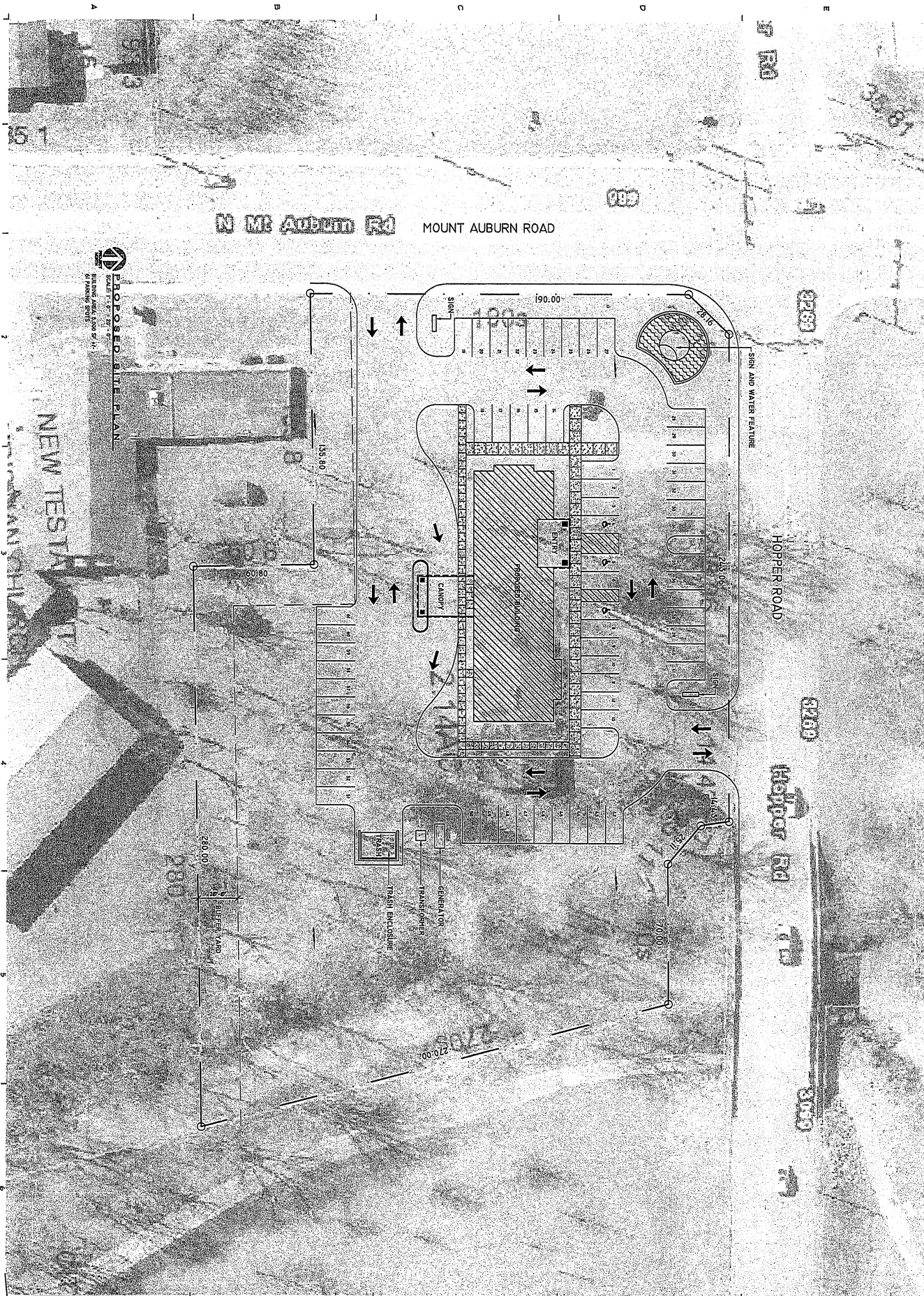
Courtesy of Elizabeth McFerron, Mid America Regional Info Systems

The data within this report is compiled by CoreLogic from public and private sources. The data is deemed reliable, but is not guaranteed. The accuracy of the data contained herein can be independently verified by the recipient of this report with the applicable county or municipality.

Property Detail

Generated on 02/19/2019

Page 2 of 2



C11

SHEET NO.

PROPOSED SITE PLAN

DATE: 3/1/2019

BY: P.B.S.

FOR: S.E. MISSOURI ORAL & MAXILLOFACIAL SURGERY

PROJECT NO.: 19-00

OWNER: DR. J. L. SMITH

DESIGNER: P.B.S.

CHECKED BY: P.B.S.

DATE: 3/1/2019

MARK: P.B.S.

DESCRIPTION: PRELIMINARY

Southeast Missouri Oral & Maxillofacial Surgery
New Building
Mount Auburn Road and Hopper Road
Cape Girardeau, Missouri

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION

PRELIMINARY

Phillip B. Smith
ARCHITECT LLC
433 Thistle Street
Cape Girardeau, Missouri 63701
Phone: 572.651.9001
Phillip@PhillipSmithArchitect.com

Staff: Steve Williams, Housing
Agenda: Coordinator
5/6/2019

AGENDA REPORT
Cape Girardeau City Council

19-095

SUBJECT

Community Development Block Grant (CDBG) program Application for Community Caring Council's Community Facility

EXECUTIVE SUMMARY

Community Caring Council proposes to renovate the former Cape Girardeau Police Station in order to support an inclusive, healthy community by enhancing its existing services for the low income population of Cape Girardeau.

The Community Caring Council will provide:

- A complete assessment of functional status, and identification of support needs, both urgent and long term, prioritizing safety and basic needs first.
- Case management services to support housing stability and self-sufficiency and to provide self-sufficiency supports for medical, mental health, chemical dependency treatment, and vocational training supports.
- Offsite assessment of need for other services (mental health, chemical dependency, and permanent housing) and a connection to service providers to meet those needs.
- Assistance with the submission of applications for SSI/SSDI, basic food, Medicaid and/or other federal/state benefit programs.
- The initiation of a process for housing stabilization, connecting the resident to permanent supportive housing placement.
- Onsite computer lab, laundromat, showers and common area
- Central location providing walking access to Salvation Army and transit services
- Office and meeting space for collaborative partners from other agencies who provide case management as well as job and life skills workshops for homeless and low-income clients of the center that will help move them toward economic self-sufficiency.

The primary goal of Community Caring Council's services will be to identify stable housing for residents, improve their health, increase their income and employment capacity, build their community connections, and ultimately improve their overall satisfaction.

BACKGROUND/DISCUSSION

The City is interested in obtaining all citizens' input on community development needs within the City. As part of the hearing process, citizens are asked to verbally assist in the completion of a Needs Assessment document. The document will detail what the residents feel are the strengths and weaknesses of the community. In addition to the Needs Assessment, citizens will have the opportunity to comment on the impact of the proposed project on historic structures and other applicable federally-regulated program areas. The City needs as much local participation as possible in order to reflect the true desires of the community as a whole, as well as the comments relating to the proposed project application. The State has established a maximum application request for each funding category. Activities that are eligible for funding include the improvement of public works, public facilities, housing rehabilitation, and others allowed by law. At least 51% of the funds must be used to benefit low-and moderate-income persons. No displacement of persons will be proposed.

The Community Caring Council is proposing to renovate the former police station located at 40 South Sprigg Street to relocate their current facility and expand their services to better serve the community.

The overall project cost is estimated to be approximately \$1,00,000.00. Project funding includes cash and in-kind match by the Community Caring Council and a \$500,000 CDBG grant. The project, if funded, will benefit Limited Clientele/100% Low and Moderate Income persons. Citizens are encouraged to comment on the proposed project.

STAFF RECOMMENDATION

The staff recommends that the City Council hold the Public Hearing to gather public input on this grant application.

ATTACHMENTS:

Name:

Description:

No Attachments Available

Staff: Bruce Taylor, Deputy City Clerk
Agenda: 5/6/2019

AGENDA REPORT
Cape Girardeau City Council

SUBJECT

Approval of the April 15, 2019, City Council regular session and closed session minutes.

ATTACHMENTS:

Name:

Description:

📎 [2019.04.15_RegularsessionMinutes.pdf](#)

Minutes 2019-04-15 regular session

📎 [2019.04.15_ClosedSessionMinutes.pdf](#)

Minutes 2019-05-15 closed session

Regular**April 15, 2019****KK-231****REGULAR SESSION – April 15, 2019****CALL TO ORDER**

The Cape Girardeau City Council convened in regular session on Monday, April 15, 2019, at 5:28 p.m., with Mayor Bob Fox presiding and Council Members Ryan Essex, Robbie Guard, Victor Gunn, Stacy Kinder, Shelly Moore, and Dan Presson present.

ADOPTION OF THE AGENDA

A Motion was made by Dan Presson, Seconded by Robbie Guard to approve and adopt the Agenda with Items 4, 5, 13, 14, 15, and 20 removed.

Motion passed. 7-0. Ayes: Essex, Fox, Guard, Gunn, Kinder, Moore, Presson.

CONSENT AGENDA

Approval of the April 1, 2019, City Council regular session and closed session minutes.

BILL NO. 19-49, an Ordinance amending Chapter 30 of the Code of Ordinances of the City of Cape Girardeau, Missouri, regarding Guest Houses. Second and Third Readings.

BILL NO. 19-50, an Ordinance approving the Record Plat of Haarig Development Subdivision. Second and Third Readings.

BILL NO. 19-56, a Resolution authorizing the City Manager to execute an Agreement with Catholic Charities of Southern Missouri, for 2019 Emergency Solutions Grant Funds from the Missouri Housing Development Commission. Reading and Passage.

BILL NO. 19-57, a Resolution authorizing the City Manager to execute an Agreement with the Community Caring Council, for 2019 Emergency Solutions Grant Funds from the Missouri Housing Development Commission. Reading and Passage.

BILL NO. 19-58, a Resolution authorizing the City Manager to execute an Agreement with the Safe House for Women, Inc., for 2019 Emergency Solutions Grant Funds from the Missouri Housing Development Commission. Reading and Passage.

BILL NO. 19-59, a Resolution authorizing the City Manager to execute an Agreement with The Salvation Army, for 2019 Emergency Solutions Grant Funds from the Missouri Housing Development Commission. Reading and Passage.

BILL NO. 19-60, A Resolution authorizing the City Manager to execute a Release of Lien for property located at 1935 Benjamin Court, under the Neighborhood Stabilization Grant Program, in the City of Cape Girardeau, Missouri. Reading and Passage.

BILL NO. 19-63, a Resolution authorizing the City Manager to execute a License and Indemnity Agreement with Terry and Cynthia McDowell, for installation of pavestones at 1 Oakenwold, in the City of Cape Girardeau, Missouri. Reading and Passage.

Bill No. 19-66, a Resolution authorizing the City Manager to execute an Agreement with Nip Kelley Equipment Company, Inc., for the Gordonville Booster Pump Station, in the City of Cape Girardeau, Missouri. Reading and Passage.

Regular**April 15, 2019****KK-232**

A Motion was made by Dan Presson, Seconded by Stacy Kinder to approve and adopt. Motion passed. 7-0. Ayes: Essex, Fox, Guard, Gunn, Kinder, Moore, Presson.

Bill No. 19-49 will be Ordinance No. 5170; Bill No. 19-50 will be Ordinance No. 5171; Bill No. 19-56 will be Resolution No. 3252; Bill No. 19-57 will be Resolution No. 3253; Bill No. 19-58 will be Resolution No. 3254; Bill No. 19-59 will be Resolution No. 3255; Bill No. 19-60 will be Resolution No. 3256; Bill No. 19-63 will be Resolution No. 3257; and Bill No. 19-66 will be Resolution No. 3258.

NEW ORDINANCES

BILL NO. 19-55, an Ordinance approving and adopting fee increases for Parks and Recreation Department Services at the Cape Splash Family Aquatics Center, in the City of Cape Girardeau, Missouri. First Reading.

A Motion was made by Dan Presson, Seconded by Robbie Guard to approve. Motion passed. 7-0. Ayes: Essex, Fox, Guard, Gunn, Kinder, Moore, Presson.

BILL NO. 19-61, an Ordinance approving the Record Plat of Williamsburg Phase 4. First Reading.

Robbie Guard abstained for financial reasons, due to his employment with MRV Banks. A Motion was made by Ryan Essex, Seconded by Stacy Kinder to approve. Motion passed. 6-0. Ayes: Essex, Fox, , Gunn, Kinder, Moore, Presson. Abstain Guard

BILL NO. 19-62, an Ordinance appropriating funds from the Parks and Recreation Fund for expenditures related to repairs and maintenance at the Cape Splash Family Aquatics Center, in the City of Cape Girardeau, Missouri. First Reading.

A Motion was made by Dan Presson, Seconded by Ryan Essex to approve. Motion passed. 7-0. Ayes: Essex, Fox, Guard, Gunn, Kinder, Moore, Presson.

Bill No. 19-64, an Ordinance calling an election in the City of Cape Girardeau, Missouri, on the question whether the City shall extend the existing sales tax of one-fourth of one percent for the purpose of funding capital improvements; designating the time of holding the election; authorizing and directing the City Clerk to give notice of the election. First Reading.

A Motion was made by Robbie Guard, Seconded by Stacy Kinder to approve. Motion passed. 7-0. Ayes: Essex, Fox, Guard, Gunn, Kinder, Moore, Presson.

APPOINTMENTS

Appointments to the Historic Preservation Commission

A Motion was made by Ryan Essex, Seconded by Robbie Guard to appoint Ken Markin to the Historic Preservation Commission for a term expiring April 16, 2021. Motion passed. 7-0. Ayes: Essex, Fox, Guard, Gunn, Kinder, Moore, Presson

Regular**April 15, 2019****KK-233****Appointments to the Parks and Recreation Advisory Board**

A Motion was made by Robbie Guard, Seconded by Stacy Kinder to remove Percy Huston from the Parks and Recreation Advisory Board, and to appoint Nicholas Snyder for the balance of the term expiring October 29, 2019.

Motion passed. 5-0. Ayes: Essex, Guard, Gunn, Kinder, Moore. Nays: Fox, Presson.

A Motion was made by Robbie Guard, Seconded by Dan Presson to appoint Anne Dohogne to the Parks and Recreation Advisory Board for a term expiring October 29, 2021.

Motion passed. 7-0. Ayes: Essex, Fox, Guard, Gunn, Kinder, Moore, Presson

Appointments to the Airport Advisory Board

A Motion was made by Robbie Guard, Seconded by Ryan Essex to appoint Richard Knot, Justin Davidson, and Ryan Dewrock to the Airport Advisory Board for terms expiring April 30, 2022.

Motion passed. 7-0. Ayes: Essex, Fox, Guard, Gunn, Kinder, Moore, Presson.

MEETING ADJOURNMENT

A Motion was made by Robbie Guard, Seconded by Victor Gunn to adjourn from regular session and to convene to closed session for legal actions and litigation, confidential communications with legal counsel, and personnel, pursuant to RSMo. Sections 610.021(1), and (3).

Motion passed. 7-0. Ayes: Essex, Fox, Guard, Gunn, Kinder, Moore, Presson.

The Regular Session ended at 5:43 p.m.

Bob Fox, Mayor

Bruce Taylor, Deputy City Clerk



Regular

April 15, 2019

KK-234

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Staff: Julia Jones, Parks and Recreation
Agenda: Director
5/6/2019

AGENDA REPORT
Cape Girardeau City Council

19-086

SUBJECT

Fee Adjustment to Cape Splash Water Park for 2019 Season

EXECUTIVE SUMMARY

Cape Splash will be entering its 10th season of operation in May of 2019. In 9 seasons the average attendance of 81,000 annually, has made the facility one of the most popular attractions during the summer months. The general admission price has only increased minimally over the 9 years the facility has been in operation. Due to increase in market pressure, rising operational costs, training costs; staff is recommending an increase of one dollar (\$1.00) in general admission for the 2019 season to assist in offsetting these expenses.

BACKGROUND/DISCUSSION

The Cape Splash Family Aquatic facility opened in May of 2010 to much fanfare and success. At that time, the admission fees were \$5 for youth and \$6 for adults, which were considered below market pricing at that time. Fees were adjusted for the first time in 2016 when the new slides were added to the facility whereby admission was increased by one dollar (\$1.00). Since opening, the Water Park has continued to be a popular destination; however, ongoing operational expenses continue to rise including chemicals, equipment replacement, wages, staff training and ongoing facility maintenance to keep the water park safe and attractive. In order to keep pace with these increases, it is the recommendation of staff to make an adjustment to admission fees by increasing the cost by one dollar for the 2019 season. This would take the youth and senior admission price from \$6.00 to \$7.00 and the adult admission price from \$7.00 to \$8.00. Staff evaluated similar water park facilities within the 150 mile region and has determined that for the value, Cape Splash is still at or below the average admission schedule of similar water park facilities. For example, the Farmington facility, which is smaller and older than Cape Splash, currently has this fee schedule in place so we would just be matching their admission prices.

FINANCIAL IMPACT

Cape Splash currently operates with a positive margin in which revenues are used to offset the water park operations and help cover expenses in other areas of the department; however, that margin has been decreasing over recent years. This year's operational expenditures are anticipated to increase. Currently estimates include an additional \$35,000 for staffing/wages and staff training along with overtime. Chemical costs have been steadily increasing as well as food/beverage costs. If current attendance averages and weather cooperates this summer, it is estimated that with the admission price adjustment, an additional \$65,000 in new revenue will balance out the anticipated expenditures and still keep our pricing affordable.

SUSTAINABILITY: ECONOMIC, ENVIRONMENTAL AND SOCIAL IMPACTS

The admission price to Cape Splash Family Aquatic facility continues to be one of the best values' in the region for delivering on affordable family fun during the short summer season. The facility is a regional attraction with

people traveling from a five state area to our City. Admission pricing for comparable aquatic facilities is within this range. In addition, St. Genevieve will be opening a new water park this summer, which may have an impact on attendance as it is very similar to the Cape Splash design.

STAFF RECOMMENDATION

Staff recommends approval of this Ordinance adopting fee increases for Parks and Recreation Department Services at the Cape Splash Family Aquatics Center.

PUBLIC OUTREACH

The Parks and Recreation Advisory Board has reviewed this request.

ATTACHMENTS:

Name:

Description:

 [Cape Splash Park Fees Ordinance 2019.doc](#)

Ordinance

BILL NO. 19-55

ORDINANCE NO. _____

AN ORDINANCE APPROVING AND ADOPTING FEE
INCREASES FOR PARKS AND RECREATION
DEPARTMENT SERVICES AT THE CAPE SPLASH
FAMILY AQUATICS CENTER, IN THE CITY OF
CAPE GIRARDEAU, MISSOURI

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CAPE
GIRARDEAU, MISSOURI, AS FOLLOWS:

ARTICLE 1. The City Council of the City of Cape Girardeau, Missouri, hereby adopts fee increases for Parks and Recreation Department Services at the Cape Splash Family Aquatics Center, in the City of Cape Girardeau, Missouri. This Ordinance will authorize increasing admission fees by One (1) dollar, as follows: youth and senior admission price will increase from \$6.00 to \$7.00, and the adult admission price will increase from \$7.00 to \$8.00.

ARTICLE 3. This ordinance shall take effect and be in force from and after ten days after its final passage and approval.

PASSED AND APPROVED THIS _____ DAY OF _____, 2019.

Bob Fox, Mayor

ATTEST:

Bruce Taylor, Deputy City Clerk

Staff: Ryan Shrimplin, AICP - City
Agenda: Planner
5/6/2019

AGENDA REPORT
Cape Girardeau City Council

19-087

SUBJECT

An Ordinance approving the Record Plat of Williamsburg Phase 4.

EXECUTIVE SUMMARY

The attached ordinance approves a record plat for the fourth phase of the Williamsburg subdivision.

BACKGROUND/DISCUSSION

A record plat has been submitted for Williamsburg Phase 4, located between Williamsburg Drive and Autumn Drive. The subdivision is zoned R-1 (Single-Family Suburban Residential). The plat establishes 39 lots and dedicates right-of-way for three public streets (Wheelwright Drive, Revolution Drive, and Silversmith Court). As shown on the approved amended preliminary plat, Revolution Drive is proposed to run through a lot containing a stormwater detention basin and a sanitary sewer lift station. Both the basin and the lift station serve the adjacent subdivision but are to be removed and replaced with facilities in the Williamsburg subdivision that will handle the stormwater runoff and sewage for the adjacent subdivision. The existing easements for the basin and lift station are to be released by the City as part of this plat. The developer has submitted a recorded copy of a deed showing he now owns the lot and has also submitted a recorded copy of an instrument removing the lot from the restriction indenture for the other subdivision (executed by the trustee of the restriction indenture).

STAFF RECOMMENDATION

The staff report to the Planning and Zoning Commission recommended approval of the record plat.

BOARD OR COMMISSION RECOMMENDATION

The Planning and Zoning Commission, at its November 8, 2017 meeting, recommended approval of the record plat with a vote of 7 in favor, 0 in opposition, and 0 abstaining.

ATTACHMENTS:

Name:

- ❏ [Record Plat Williamsburg Phase 4.doc](#)
- ❏ [Staff Review-Referral-Action Form.pdf](#)
- ❏ [Map - Williamsburg Phase 4.pdf](#)
- ❏ [Application - Williamsburg Phase 4 Subdivision.pdf](#)
- ❏ [Williamsburg 4 - Record Plat.pdf](#)

Description:

- Ordinance
- Williamsburg Phase 4 - Staff RRA Form
- Williamsburg Phase 4 - Map
- Williamsburg Phase 4 - Application
- Williamsburg Phase 4 - Record Plat

BILL NO. 19-61

ORDINANCE NO. _____

AN ORDINANCE APPROVING THE RECORD PLAT OF
WILLIAMSBURG PHASE 4

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CAPE
GIRARDEAU, MISSOURI, AS FOLLOWS:

ARTICLE 1. The record plat of Williamsburg Phase 4, being that part of United States Private Survey No. 2198, Township 31 North, Range 13 East of the Fifth Principal Meridian, in the City and County of Cape Girardeau, State of Missouri, submitted by Brandon O. Williams Development LLC., bearing the certification of Brian W. Strickland, a Registered Land Surveyor, dated the 2nd day of April, 2019, is hereby approved.

ARTICLE 2. The City Clerk is hereby directed to sign the record plat with the date of Council approval and affix thereto the seal of the City of Cape Girardeau, Missouri.

ARTICLE 3. This ordinance shall be in full force and effect ten days after its passage and approval.

PASSED AND APPROVED THIS _____ DAY OF _____, 2019.

Bob Fox, Mayor

ATTEST:

Bruce Taylor, Deputy City Clerk

CITY OF CAPE GIRARDEAU, MISSOURI
City Staff Review, Referral and Action - Subdivision Application

FILE: Williamsburg Phase 4

LOCATION: Williamsburg Drive

STAFF REVIEW & COMMENTS:

A record plat has been submitted for a thirty-nine (39) lot subdivision as phase 4 of the Williamsburg Subdivision.
SEE STAFF REPORT FOR MORE DETAILS.

OB 850
City Planner

11/2/17
Date

W. RICHMOND
City Attorney

NOVEMBER 3, 2017
Date

CITY MANAGER REFERRAL TO THE PLANNING AND ZONING COMMISSION:

[Signature]
City Manager

11-3-17
Date

Planning & Zoning Commission

RECOMMENDED ACTION:

	Favor	Oppose	Abstain
Trae Bertrand	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Larry Dowdy	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jeff Glenn	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kevin Greaser	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Patrick Koetting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	Favor	Oppose	Abstain
Scott McClanahan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Bruce Skinner	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Doug Spooler	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tom Welch	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

VOTE COUNT:

7

Favor

0

Oppose

0

Abstain

COMMENTS:

CITIZENS COMMENTING AT MEETING:

[Signature]
Randy Kluge
Planning & Zoning Commission Secretary

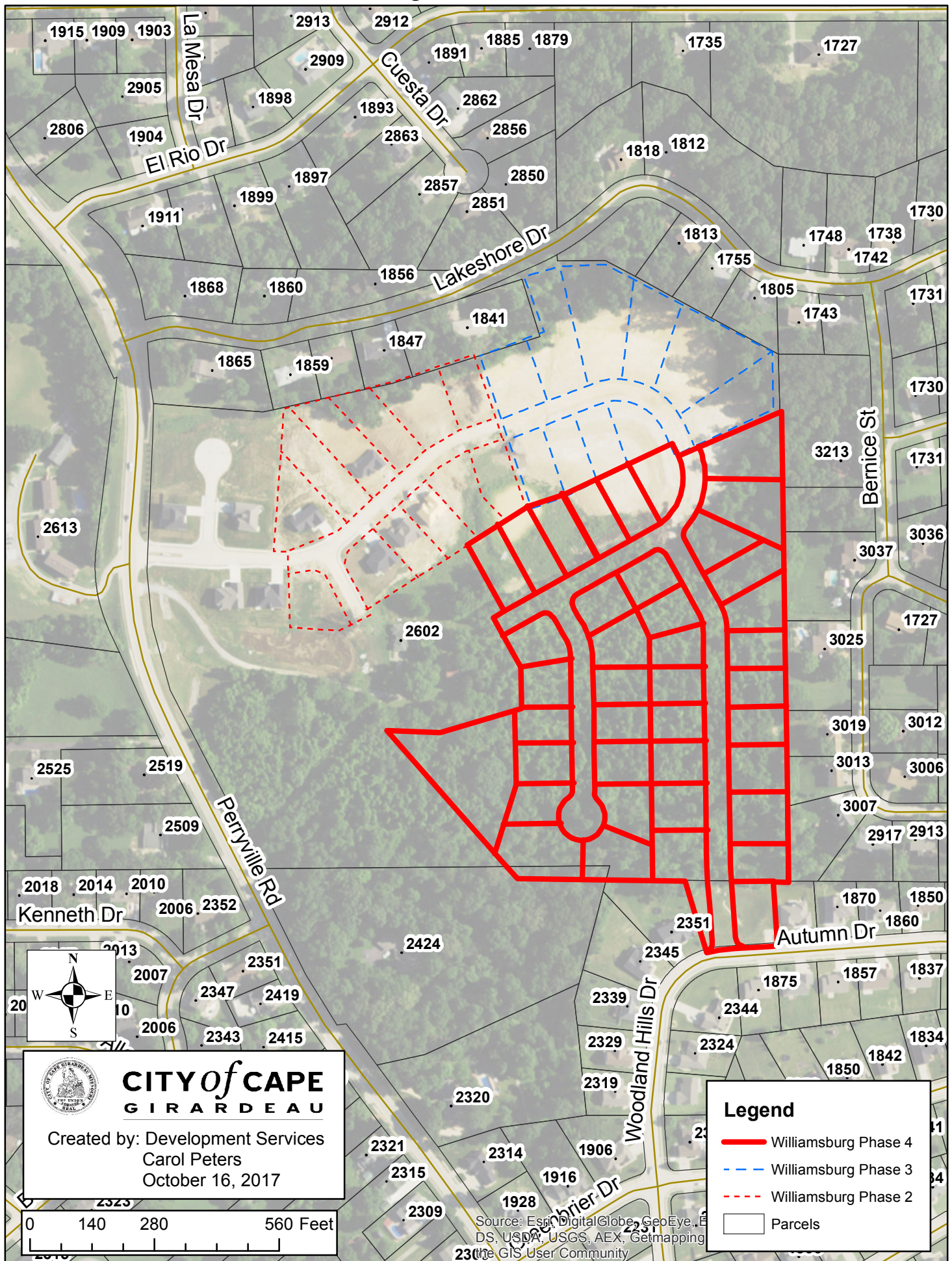
City Council Action

Ordinance 1st Reading _____ Ordinance 2nd & 3rd Reading: _____

ORDINANCE # _____

Effective Date: _____

Williamsburg Phase 4 Subdivision





SUBDIVISION PLAT APPLICATION CITY of CAPE GIRARDEAU

DEVELOPMENT SERVICES DEPARTMENT, 401 INDEPENDENCE ST, CAPE GIRARDEAU, MO 63703 (573) 339-6327

Name of Subdivision Williamsburg Phase 4		Type of Plat: Preliminary, Record, or Boundary Adjustment Record Plat	
Applicant Brandon O. Williams Development, LLC		Property Owner of Record (if other than Applicant) - Same as Applicant -	
Mailing Address 2985 Boutin Drive	City, State, Zip Cape Girardeau, MO 63701	Mailing Address	City, State, Zip
Telephone 573-335-3382	Email bowconstruction@aol.com	Telephone	Email
Contact Person (If Applicant is a Business or Organization) Brandon Williams		<i>(Attach additional owners information, if necessary)</i>	
Professional Engineer/Surveyor (if other than Applicant) Marc Mahnke - Brian Strickland / Strickland Engineering		Developer (if other than Applicant) - Same as Applicant -	
Mailing Address 113 W. Main St, Suite 1	City, State, Zip Jackson, MO 63755	Mailing Address	City, State, Zip
Telephone 573-243-4080	Email mmahnke@stricklandengineering.com	Telephone	Email

ADDITIONAL ITEMS REQUIRED

See Instructions for more
information.

In addition to this completed application form, the following items must be submitted:

- ✓ Review Fee (payable to City of Cape Girardeau)
 - Single-Family or Two-Family Residential: \$20.00 per lot (\$100.00 minimum)
 - Multi-Family Residential: \$20.00 per dwelling unit (\$100.00 minimum)
 - Non-Residential : \$20.00 per acre (\$100.00 minimum)
- ✓ Recording Fee Deposit (payable to City of Cape Girardeau)

Sheet Size	Record Plat	Boundary Adjustment Plat
18" x 24"	\$44.00	\$24.00
24" x 36"	\$69.00	\$29.00

(The City reserves the right to issue a partial refund or collect an additional fee if the actual recording cost differs from the deposit amount)
- ✓ Two (2) full size prints of the plat
- ✓ Digital file of the plat in .pdf format (can be emailed)

CERTIFICATION

I hereby certify that I am the sole Property Owner of Record or an agent duly authorized by the Property Owner(s) of Record to file this application on their behalf. I acknowledge that plats for subdivisions involving public improvements will be held from City Council review until the improvements are completed and ready for acceptance by the City, or an escrow agreement for the improvements is executed. I further acknowledge that plats for subdivisions involving common land and/or elements require the submission of covenants and a deed ensuring the perpetual maintenance and supervision of the common land and/or elements by trustees prior to recording of the record plat.

Marc Mahnke **MARC MAHNKE**
Applicant Signature and Printed Name

10-12-17
Date

OFFICE USE ONLY

Date Received & By 10/13/17 DB MUNIS Application No. 7044

Planning & Zoning Commission Recommendation _____ Date _____

City Council Final Action _____ Date _____

CURVE TABLE				
Curve #	Length	Radius	Chord Direction	Chord Length
C1	34.56'	22.00'	S15°56'35"W	31.11'
C2	34.56'	22.00'	S15°56'35"W	31.11'
C3	37.18'	75.00'	N14°51'23"W	36.80'
C4	12.42'	125.00'	N26°12'38"W	12.42'
C5	49.54'	125.00'	N12°00'36"W	49.22'
C6	21.28'	22.00'	N27°03'06"E	20.46'
C7	64.35'	52.00'	S19°18'29"W	60.32'
C8	66.31'	52.00'	S52°40'38"E	61.91'
C9	62.73'	52.00'	N56°13'43"E	59.00'
C10	61.45'	52.00'	N12°11'18"W	57.94'
C11	17.72'	22.00'	S22°58'12"E	17.25'
C12	34.56'	22.00'	N74°03'25"W	31.11'
C13	18.59'	75.00'	N21°57'24"W	18.54'
C14	18.59'	75.00'	N74°52'22"W	18.54'

CURVE TABLE				
Curve #	Length	Radius	Chord Direction	Chord Length
C15	7.92'	125.00'	S2°28'19"E	7.92'
C16	29.84'	22.00'	N34°33'50"E	27.60'
C17	0.93'	175.00'	S73°15'46"W	0.93'
C18	34.49'	22.00'	S49°11'39"E	31.06'
C19	4.75'	75.00'	S2°28'19"E	4.75'
C20	57.07'	125.00'	N13°44'07"W	56.58'
C21	4.89'	125.00'	N27°56'10"W	4.89'
C22	27.01'	22.00'	S6°06'30"W	25.34'
C23	50.71'	175.00'	N32°58'20"E	50.53'
C24	72.07'	175.00'	N12°52'24"E	71.56'
C25	73.77'	175.00'	N11°00'04"W	73.23'
C26	167.97'	125.00'	N15°25'02"E	155.61'
C27	15.34'	125.00'	N57°25'39"E	15.33'

PARCEL LINE TABLE		
Line #	Direction	Length
L1	S29°03'25"E	15.03
L2	N57°35'30"E	52.53
L3	S54°40'41"E	63.73
L4	S29°03'25"E	14.47
L5	N48°39'48"E	167.10
L6	N18°43'02"E	48.33
L7	N65°58'21"E	44.38
L8	N29°03'25"W	66.47
L9	N20°43'06"E	72.22
L10	N29°03'25"W	20.00
L11	S60°56'35"W	10.00
L12	S29°03'25"E	20.00
L13	N76°31'37"E	15.38
L14	S0°39'21"E	15.19
L15	N0°35'45"W	23.14
L16	N0°39'21"W	1.54

ACCURACY STANDARD: TYPE SUBURBAN

SURVEYOR'S NOTE

1/2" IRON RODS WITH PLASTIC CAP SET AT ALL LOT CORNERS UNLESS OTHERWISE NOTED.

FLOODPLAIN NOTE

NO LOTS IN THE SUBDIVISION ARE LOCATED WITHIN A FLOOD HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 290458 0003 B FOR THE CITY OF CAPE GIRARDEAU, MISSOURI.

ZONING CLASSIFICATION

"R-1" SINGLE-FAMILY SUBURBAN
RESIDENTIAL DISTRICT
MINIMUM LOT AREA : 10,000 Sq. Ft.
MINIMUM LOT WIDTH : 80 Ft.
MAXIMUM DENSITY : 4 UNITS / ACRE

WILLIAMSBURG PHASE 4

NO. OF LOTS = 39
LARGEST LOT SIZE : 20,695 SQ. FT. (LOT 32)
SMALLEST LOT SIZE : 10,077 SQ. FT. (LOT 48)
TOTAL LOT AREA : 661,712 SQ. FT. (15.191 ACRES)
PROPOSED DENSITY : 2.57 UNITS / ACRE

BUILDING SETBACKS (FOR R-1 ZONING)

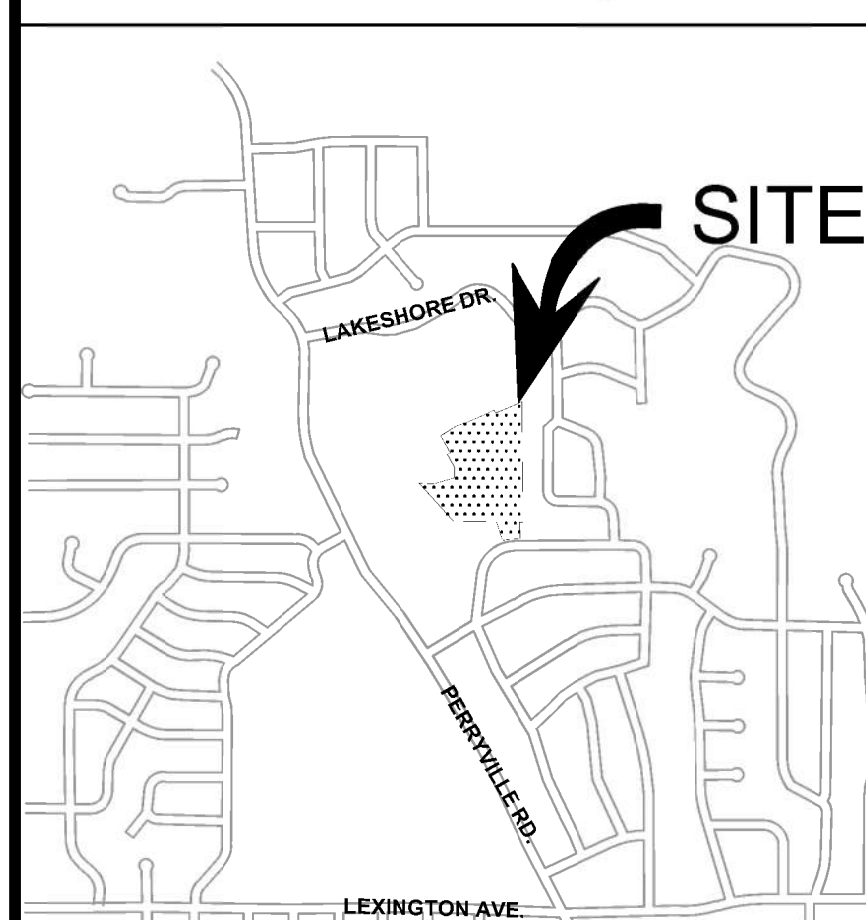
30' FRONT SETBACKS
25' REAR SETBACKS
6' SIDE SETBACKS

SETBACKS HAVE BEEN ADJUSTED TO ALIGN WITH EASEMENTS ON LOTS 35, 39, 40, 49, 44, 45, 55, 56, 59, 60, 64, 65, 66, & 67

REFERENCES

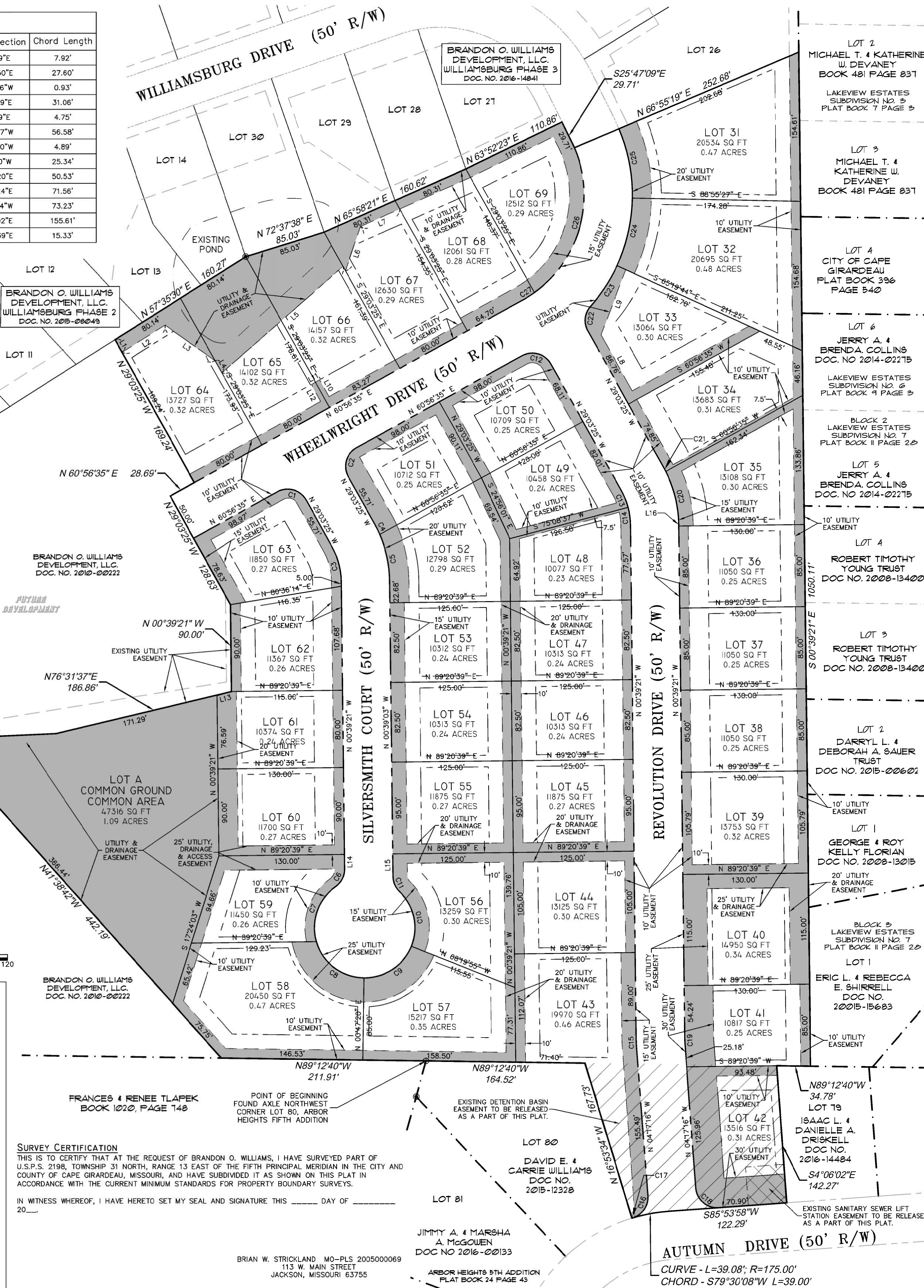
- DOC. NO. 2010-00222 (SUBJECT)
- WILLIAMSBURG PHASE 1 DOC. NO. 2014-06127
- WILLIAMSBURG PHASE 2 DOC. NO. 2015-08049
- WILLIAMSBURG PHASE 3 DOC. NO. 2016-14841
- BOOK 910, PAGE 345 (EASEMENTS TO CITY OF CAPE GIRARDEAU)
- BOOK 910, PAGE 342 (RIGHT-OF-WAY TO CITY OF CAPE GIRARDEAU)
- LAKEVIEW ESTATES 1ST ADDITION PLAT BOOK 6 PAGE 46
- LAKEVIEW ESTATES 3RD ADDITION PLAT BOOK 7 PAGE 3
- LAKEVIEW ESTATES 5TH ADDITION PLAT BOOK 7 PAGE 30
- LAKEVIEW ESTATES 6TH ADDITION PLAT BOOK 9 PAGE 3
- LAKEVIEW ESTATES 7TH ADDITION PLAT BOOK 11 PAGE 28
- ARBOR HEIGHTS 1ST ADDITION PLAT BOOK 21 PAGE 67
- ARBOR HEIGHTS 2ND ADDITION PLAT BOOK 21 PAGE 90
- ARBOR HEIGHTS 5TH ADDITION PLAT BOOK 24 PAGE 43
- SAN DANGARO 5TH PLAT BOOK 16 PAGE 61
- BOOK 199, PAGE 332
- BOOK 5, PAGE 773
- DOCUMENT NO. 2017-08315

VICINITY MAP



LEGEND

- 1/2" IRON ROD (SET)
 - 5/8" IRON ROD W/ALUM CAP (SET)
 - IRON ROD W/CAP (FOUND)
 - IRON ROD (FOUND)
 - IRON PIPE
 - STONE
 - COTTON PICKER SPINDLE
 - CHISELED CROSS
 - AXLE
 - ALUMINUM MONUMENT
 - RIGHT-OF-WAY MARKER
 - (M) MEASURED
 - (R) RECORDED
- PROPERTY BOUNDARY LINE
--- RIGHT-OF-WAY LINE
--- EASEMENT LINE
--- BUILDING SETBACK LINE
--- EASEMENT AREA
--- SANITARY LIFT STATION EASEMENT TO BE RELEASED
--- DETENTION EASEMENT TO BE RELEASED



RECORD PLAT FOR WILLIAMSBURG PHASE 4

PART OF UNITED STATES PRIVATE SURVEY NO. 2198, TOWNSHIP 31 NORTH, RANGE 13 EAST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY AND COUNTY OF CAPE GIRARDEAU, THE STATE OF MISSOURI

SUBDIVISION DEDICATION

BRANDON O. WILLIAMS DEVELOPMENT, LLC, THE OWNER OF PART OF UNITED STATES PRIVATE SURVEY NUMBER 2198, TOWNSHIP 31 NORTH, RANGE 13 EAST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF CAPE GIRARDEAU, COUNTY OF CAPE GIRARDEAU, STATE OF MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN AXLE AT THE NORTHWEST CORNER OF LOT 80 OF ARBOR HEIGHTS FIFTH ADDITION AS RECORDED IN PLAT BOOK 24 ON PAGE 43; THENCE NORTH 89 DEGREES 12 MINUTES 40 SECONDS WEST 211.91 FEET; THENCE NORTH 41 DEGREES 38 MINUTES 42 SECONDS WEST 442.19 FEET; THENCE NORTH 87 DEGREES 24 MINUTES 41 SECONDS EAST 122.84 FEET; THENCE NORTH 76 DEGREES 31 MINUTES 37 SECONDS EAST 186.86 FEET; THENCE NORTH 00 DEGREES 39 MINUTES 21 SECONDS WEST 90.00 FEET; THENCE NORTH 29 DEGREES 03 MINUTES 25 SECONDS WEST 128.63 FEET; THENCE NORTH 60 DEGREES 56 MINUTES 35 SECONDS EAST 28.69 FEET; THENCE NORTH 29 DEGREES 03 MINUTES 25 SECONDS WEST 169.24 FEET TO THE SOUTH LINE OF WILLIAMSBURG PHASE 2 AS RECORDED IN DOCUMENT NUMBER 2015-08049; THENCE ALONG THE SOUTH LINE OF WILLIAMSBURG PHASE 2, NORTH 57 DEGREES 35 MINUTES 30 SECONDS EAST 160.27 FEET TO THE SOUTHWEST CORNER OF LOT 30 OF WILLIAMSBURG PHASE 3 AS RECORDED IN DOCUMENT NUMBER 2016-14841; THENCE ALONG THE SOUTH LINE OF WILLIAMSBURG PHASE 3, NORTH 72 DEGREES 37 MINUTES 38 SECONDS EAST 85.03 FEET; THENCE NORTH 65 DEGREES 58 MINUTES 21 SECONDS EAST 160.62 FEET; THENCE NORTH 63 DEGREES 52 MINUTES 23 SECONDS EAST 110.86 FEET; THENCE SOUTH 25 DEGREES 47 MINUTES 09 SECONDS EAST 29.71 FEET; THENCE NORTH 66 DEGREES 55 MINUTES 19 SECONDS EAST 252.68 FEET TO THE WEST LINE OF LAKEVIEW ESTATES SUBDIVISION NUMBER 3, SOUTH 00 DEGREES 39 MINUTES 21 SECONDS EAST 1,050.11 FEET TO THE SOUTHWEST CORNER OF LOT 1 LAKEVIEW ESTATES SUBDIVISION NUMBER 7 AS RECORDED IN PLAT BOOK 11 PAGE 28 ON THE NORTH LINE OF ARBOR HEIGHTS FIFTH ADDITION AS RECORDED IN PLAT BOOK 24 PAGE 43; THENCE ALONG THE NORTH LINE OF ARBOR HEIGHTS FIFTH ADDITION NORTH 89 DEGREES 12 MINUTES 40 SECONDS WEST 34.78 FEET TO THE NORTHWEST CORNER OF LOT 79 OF ARBOR HEIGHTS FIFTH ADDITION; THENCE SOUTH 04 DEGREES 06 MINUTES 02 SECONDS EAST 142.27 FEET TO THE SOUTHWEST CORNER OF LOT 79; THENCE ALONG THE NORTH RIGHT-OF-WAY OF AUTUMN DRIVE SOUTH 85 DEGREES 53 MINUTES 58 SECONDS WEST 122.29 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 175.00 FEET, CHORD BEARING SOUTH 79 DEGREES 30 MINUTES 08 SECONDS WEST 39.00 FEET AND AN ARC LENGTH OF 39.08 FEET TO THE SOUTHEAST CORNER OF LOT 80; THENCE LEAVING THE NORTH RIGHT-OF-WAY LINE OF AUTUMN DRIVE NORTH 16 DEGREES 53 MINUTES 34 SECONDS WEST 167.73 FEET TO THE NORTH-EAST CORNER OF LOT 80; THENCE NORTH 89 DEGREES 12 MINUTES 40 SECONDS WEST 164.52 FEET TO THE POINT OF BEGINNING.

THE HEREIN DESCRIBED TRACT CONTAINS 15.191 ACRES MORE OR LESS AND IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY, RESTRICTIONS AND LICENSES AFFECTING SAME, EITHER WRITTEN OR IMPLIED.

I HEREBY DECLARE THAT I HAVE CAUSED THE FOREGOING DESCRIBED TRACT OF LAND TO BE SUBDIVIDED INTO LOTS AS NUMBERED AND STREET RIGHTS OF WAY AS DESIGNATED ON THE ANNEXED PLAT AND THAT I HAVE CAUSED SAID SUBDIVISION "WILLIAMSBURG PHASE 4" AND I DO HEREBY ESTABLISH PERMANENT UTILITY, DRAINAGE AND ACCESS EASEMENTS ACROSS CERTAIN PORTIONS OF THE AFORESAID SUBDIVISION WHICH ARE SET FORTH ON THE ANNEXED PLAT. THE RIGHTS OF WAY SHOWN HEREON ARE HEREBY DEDICATED TO THE CITY OF CAPE GIRARDEAU, MISSOURI IN PERPETUITY FOR PUBLIC PURPOSES. THE UTILITY EASEMENTS SHOWN HEREON ARE HEREBY GRANTED TO THE CITY OF CAPE GIRARDEAU, MISSOURI IN PERPETUITY FOR PUBLIC PURPOSES, INCLUDING THE INSTALLATION, MAINTENANCE, REPAIR, REPLACEMENT, AND EXPANSION OF CITY WATER AND SEWER SYSTEMS, AND AS MAY BE AUTHORIZED BY THE CITY OF CAPE GIRARDEAU, MISSOURI TO BE USED BY A PUBLIC OR PRIVATE UTILITY PROVIDER FOR PURPOSES RELATED TO THE INSTALLATION, MAINTENANCE, REPAIR, REPLACEMENT, AND EXPANSION OF SUCH UTILITY SYSTEMS.

DETAILED RESTRICTIONS FOR ALL LOTS IN "WILLIAMSBURG PHASE 4" HAVE BEEN RECORDED IN A SEPARATE INSTRUMENT IN DOCUMENT NO. 2014-06128 IN THE LAND RECORDS OF THE COUNTY RECORDERS OFFICE.

IN WITNESS WHEREOF, I HAVE CAUSED THESE PRESENTS TO BE SIGNED THIS _____ DAY OF _____ 20____

BRANDON O. WILLIAMS DEVELOPMENT, LLC.
BRANDON O. WILLIAMS, OWNER

ON THIS _____ DAY OF _____ 20____, BEFORE ME APPEARED BRANDON O. WILLIAMS, TO ME PERSONALLY KNOWN, WHO BEING BY ME DULY SWORN DID SAY THAT HE IS THE OWNER OF BRANDON O. WILLIAMS DEVELOPMENT, LLC, A MISSOURI LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT AS THE FREE ACT AND DEED OF SAID LIMITED LIABILITY COMPANY.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL IN THE STATE AND COUNTY AFORESAID ON THE DAY AND YEAR ABOVE WRITTEN.

STATE OF _____, COUNTY OF _____

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

I HEREBY RELEASE THE EXISTING PUBLIC EASEMENTS AS SHOWN ON THIS PLAT.

SCOTT A. MEYER, CITY MANAGER
CITY OF CAPE GIRARDEAU, MISSOURI

STATE OF MISSOURI
COUNTY OF CAPE GIRARDEAU

ON THIS _____ DAY OF _____ 20____, BEFORE ME APPEARED SCOTT A. MEYER, WHO, BEING BY ME DULY SWORN, DID SAY THAT HE IS THE CITY MANAGER OF THE CITY OF CAPE GIRARDEAU, MISSOURI, AND THAT HE IS AUTHORIZED TO EXECUTE THE FOREGOING INSTRUMENT ON BEHALF OF SAID CITY, AND THAT HE EXECUTED THE FOREGOING INSTRUMENT AS THE FREE ACT AND DEED OF SAID CITY.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL IN THE STATE AND COUNTY AFORESAID ON THE DAY AND YEAR ABOVE WRITTEN.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

I, _____, CITY CLERK OF THE CITY OF CAPE GIRARDEAU, MISSOURI, HEREBY DECLARE THAT THIS PLAT WAS PRESENTED TO AND APPROVED BY THE CITY COUNCIL OF THE CITY OF CAPE GIRARDEAU, MISSOURI ON _____

THE _____
DAY OF _____, 20____, BY ORDINANCE NO. _____

CITY CLERK

STATE OF MISSOURI
COUNTY OF CAPE GIRARDEAU

FILED FOR RECORD THIS _____ DAY OF _____ 20____ AND DULY

RECORDED IN DOCUMENT NUMBER _____

ANDREW DAVID BLATTNER
RECORDER OF DEEDS, CAPE GIRARDEAU COUNTY, MISSOURI

	STRICKLAND ENGINEERING CIVIL - MECHANICAL - ELECTRICAL ENGINEERING - LAND SURVEYING		113 WEST MAIN STREET P.O. Box 159 JACKSON, MISSOURI 63755 TEL: 573-243-4080 FAX: 573-243-2191
	RECORD PLAT FOR WILLIAMSBURG PHASE 4 CAPE GIRARDEAU, MISSOURI		SCALE 1" = 60' DATE 11-12-17 DRAWN BY MTM CHECKED BY BS PROJECT # 17-056

BILL NO. 19-62

ORDINANCE NO. _____

AN ORDINANCE APPROPRIATING FUNDS FROM THE
PARKS AND RECREATION FUND FOR EXPENDITURES
RELATED TO REPAIRS AND MAINTENANCE AT THE CAPE
SPLASH FAMILY AQUATICS CENTER, IN THE CITY OF
CAPE GIRARDEAU, MISSOURI

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CAPE GIRARDEAU,
MISSOURI, AS FOLLOWS:

ARTICLE 1. The City Council of the City of Cape Girardeau,
Missouri, hereby appropriates Eighty Thousand Dollars (\$80,000.00)
from the reserve set aside in the Parks and Recreation Fund for
repairs and maintenance at the Cape Splash Family Aquatics Center.

ARTICLE 2. This ordinance shall be in full force and effect
ten days after its passage and approval.

PASSED AND APPROVED THIS _____ DAY OF _____, 2019.

Bob Fox, Mayor

ATTEST:

Bruce Taylor, Deputy City Clerk

Staff: Scott Meyer, City Manager
Agenda: 5/6/2019

SUBJECT

An Ordinance calling an election in the City of Cape Girardeau, Missouri, on the question whether the City shall extend the existing sales tax of one-fourth of one percent for the purpose of funding capital improvements; designating the time of holding the election; authorizing and directing the City Clerk to give notice of the election.

EXECUTIVE SUMMARY

The City of Cape Girardeau currently imposes a one-fourth of one percent (1/4 of 1%) sales tax for the purpose of providing revenues for capital improvements for the City of Cape Girardeau. It is set to expire December 31, 2019. This proposed Ordinance calls an election on August 6, 2019, for the purpose of approving that extension through December 2034.

BACKGROUND/DISCUSSION

April 5, 1994, the citizens of Cape Girardeau approved the extension of a one-fourth of one percent (1/4 of 1%) sales tax for the purpose of funding capital improvements for flood control, drainage improvement and storm water control projects and for other sanitary sewer projects designated by the the City Council. It is set to expire December 31, 2019. This sales tax has provided funding for many viable, successful community projects.

FINANCIAL IMPACT

The approval of the proposition will authorize the extension of this existing sales tax beyond its December 31, 2019 expiration date, but will not result in any increase in the amount of the tax. This tax will be set to expire on December 31, 2034. The tax will be used to fund capital projects. Prioritized projects identified by staff include improvements to the water system infrastructure, renovation of airport facilities, to address City Hall facility needs, and to increase funding for street repair. The estimated cash flow has been conservatively identified through a fifteen year time frame. Contracts for capital projects, and annual operating budget containing ongoing projects will be approved by the City Council prior to expending funds.

SUSTAINABILITY: ECONOMIC, ENVIRONMENTAL AND SOCIAL IMPACTS

The City Charter requires an annual review of the capital needs of the community. The City prepares a five-year Capital Improvement Program which focuses attention on improving and constructing capital assets necessary for providing the services, facilities and infrastructure expected by the residents and businesses. It allows our community to offer a sustainable, enhanced quality of life with the financial resources available and those approved by the voters.

STAFF RECOMMENDATION

City Staff recommends that the City Council approve this Ordinance providing for the extension of the one-fourth of one percent (1/4 of 1%) sales tax which is currently set to expire on December 31, 2019, and calling an election in the City on that question on August 6, 2019.

PUBLIC OUTREACH

Each year a public hearing is held prior to the approval of the Capital Improvements Program adoption. Additional public input is solicited through the City's website and social media platforms. Advisory Boards, Council appointed committees, and stake holder groups submit recommendations for capital improvements. Additional informational materials and meetings will planned.

ATTACHMENTS:

Name:		Description:
 15_yr Election Capital Improvements Sales Tax (3).doc		Ordinance

Bill No. 19-64

Ordinance No. _____

AN ORDINANCE CALLING AN ELECTION IN THE CITY OF CAPE GIRARDEAU, MISSOURI, ON THE QUESTION WHETHER THE CITY SHALL EXTEND THE EXISTING SALES TAX OF ONE-FOURTH OF ONE PERCENT FOR THE PURPOSE OF FUNDING CAPITAL IMPROVEMENTS; DESIGNATING THE TIME OF HOLDING THE ELECTION; AUTHORIZING AND DIRECTING THE CITY CLERK TO GIVE NOTICE OF THE ELECTION

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CAPE GIRARDEAU, MISSOURI, AS FOLLOWS:

ARTICLE 1. A special election is hereby ordered to be held in the City of Cape Girardeau, Missouri, August 6, 2019, on the following question:

QUESTION

Shall the City of Cape Girardeau, Missouri, extend its existing sales tax of one-fourth of one percent (1/4%) for the purpose of funding capital improvements for water system projects, airport improvements, street repairs, City facilities, and other capital projects to be approved by the City Council, such capital improvements sales tax to terminate on December 31, 2034?

The approval of said question will authorize the levy and collection of a one-fourth of one percent sales tax in addition to the other sales taxes provided for by law on all retail sales made in the City which are subject to taxation.

ARTICLE 2. The form of Notice of Election for said election, a copy of which is attached hereto and made a part hereof, is hereby approved.

ARTICLE 3. The Deputy City Clerk is hereby authorized and directed to notify the County Clerk of Cape Girardeau County, Missouri, of the adoption of this Ordinance no later than 5:00pm on May 28, 2019, and to include in said notification all of the terms and provisions required by the comprehensive election Act, Chapter 115 of the Revised Statutes of Missouri, as amended.

ARTICLE 4. This Ordinance shall be in full force and effect ten (10) days after its passage and approval.

PASSED AND APPROVED this _____ day of _____, 2019.

Bob Fox, Mayor

ATTEST:

Bruce Taylor, Deputy City Clerk

NOTICE OF ELECTION

CITY OF CAPE GIRARDEAU, MISSOURI

Notice is hereby given to the qualified voters of the City of Cape Girardeau, Missouri, that the City Council of the City has called a special election to be held in the City on August 6, 2019, commencing at 6:00 A.M. and closing at 7:00 o'clock P.M. on the question contained in the following sample ballot:

**OFFICIAL BALLOT
SPECIAL ELECTION
CITY OF CAPE GIRARDEAU, MISSOURI
August 6, 2019**

QUESTION

Shall the City of Cape Girardeau, Missouri, extend its existing sales tax of one-fourth of one percent (1/4%) for the purpose of funding capital improvements for water system projects, airport improvements, street repairs, City facilities, and other capital projects to be approved by the City Council, such capital improvements sales tax to terminate on December 31, 2034?

☐ YES

☐ NO

INSTRUCTIONS TO VOTERS: If you are in favor of the question, place an X in the box opposite "YES". If you are opposed to the question, place an X in the box opposite "NO".

The approval of said question will authorize the levy and collection of a one-fourth on one percent sales tax in addition to the other sales taxes provided for by law on all retail sales made in the City which are subject to taxation.

The election will be held at the following polling places in the City:

PRECINCT

POLLING PLACE

Dated this _____ day of _____, 2019.

Kara Clark Summers, Clerk of the
County Commission

Staff: David Whitaker, Assistant City Engineer
Agenda: 5/6/2019

SUBJECT

Resolution authorizing the City Manager to execute a contract with Apex Paving Company for the 2019 Asphalt Overlay Program in the City of Cape Girardeau, Missouri.

EXECUTIVE SUMMARY

The locations for the work to be performed under these Contract Documents are **Hazel Street** from Themis Street to the end of City Maintenance; **Charles Street** from Hawthorne Street to West Rodney Street; **Fairview Place** from Kingshighway to the Cul-De-Sac; **Broadway Street** from Kingshighway to Clark Street; **Alley between Caruthers and Sunset** from Bessie Street to Thilenius Street; **Alley between Sunset and Keller** from Bessie Street to Luce Street; **Carter Street** from the Dead End to West End Boulevard; **Ozark Street** from the Dead End to West End Boulevard; **Ripley Drive** from The Dead End to West End Boulevard; **Missouri Avenue** from Ripley Drive to Stoddard Avenue; **Scott Street** from Perry Avenue to Missouri Avenue; **Alley between Pemiscot and Rose** from the Dead End to West End Boulevard; **Penny Avenue** from New Madrid Street to Dunklin Street; **Forest Avenue** from New Madrid Street to Dunklin Street; **Good Hope Street** from Frederick Street to Aquamsi Street; **Sandstone Lane** from South Lake Drive to the Dead End; **Merriwether Street** from Sprigg Street to Frederick Street; and the **Alley between Big Bend and Spanish** from Fourth Street to the Dead End.

The improvements consist of resurfacing the existing pavement by milling approximately 2 inches off the existing pavement where needed and placing and compacting new hot mix asphalt to result in a 2 inch overlay and removal and replacement of portions of sidewalk, driveways, curb and gutter, in addition to, adjustment of existing utilities and manholes as noted for each location, all as described in the contract documents. The streets are located in various areas within the City of Cape Girardeau, Missouri.

BACKGROUND/DISCUSSION

The City has designated a portion of the Transportation Trust Fund monies for repair-rejuvenation of existing City streets and alleys under each of the Transportation Trust Fund Programs voted in to date. This work is being funded by Transportation Trust Fund 5. The work has been designed by City staff and the call for bids was publicly advertised. On April 23, 2019 three (3) bids were received; the high was \$773,536.25 and \$693,642.84 was the low bid. All of the bids received were below the Engineer's Estimate. All work will be done within existing right-of-way or easements.

FINANCIAL IMPACT

The construction contract is to be issued to the low bidder, Apex Paving Company, for the bid amount of \$693,642.84 with funding from TTF5.

SUSTAINABILITY: ECONOMIC, ENVIRONMENTAL AND SOCIAL IMPACTS

The City is responsible for the routine maintenance of existing City streets and public alleys. This requires funding to be allotted for the cost of this maintenance work in the City's annual budget. The four previous TTF programs have provided better street surfaces and paved alleys. This contract will continue to use monies set aside in the TTF5 Program for these upgrades.

STAFF RECOMMENDATION

Staff recommends the Council pass and approve a resolution authorizing the City Manager to execute a contract with Apex Paving Company, for the 2019 Asphalt Overlay Program.

PUBLIC OUTREACH

Presentations were made to the public and to civic organizations prior to each election to continue the Transportation Trust Fund Sales Tax.

ATTACHMENTS:

Name:	Description:
<input type="checkbox"/> Agreement Apex Paving 2019 Asphalt Overlay Program.doc	Resolution
<input type="checkbox"/> 6227 - 2019 Asphalt Overlay Program Agreement.pdf	Agreement - 6227 -2019 Asphalt Overlay Program
<input type="checkbox"/> Streets Per Year Breakout Map.pdf	2019 Asphalt Overlay - Map
<input type="checkbox"/> Bid Tab - 6227 signed.pdf	6227 - Bid Tab

BILL NO. 19-71

RESOLUTION NO. _____

A RESOLUTION AUTHORIZING THE CITY MANAGER TO
EXECUTE AN AGREEMENT WITH APEX PAVING COMPANY
FOR THE 2019 ASPHALT OVERLAY PROGRAM, IN THE
CITY OF CAPE GIRARDEAU, MISSOURI

BE IT RESOLVED BY THE COUNCIL OF THE CITY OF CAPE GIRARDEAU,
MISSOURI, AS FOLLOWS:

ARTICLE 1. The City Manager, for and on behalf of the City of Cape Girardeau, Missouri, is hereby authorized to execute an Agreement with Apex Paving Company for the 2019 Asphalt Overlay Program, in the City of Cape Girardeau, Missouri. The Agreement shall be in substantially the form attached hereto as Exhibit A, which document is hereby approved by the City Council, and incorporated herein by reference, with such changes therein as shall be approved by the officers of the City executing the same.

PASSED AND ADOPTED THIS _____ DAY OF _____, 2019.

Bob Fox, Mayor

ATTEST:

Bruce Taylor, Deputy City Clerk

CITY OF CAPE GIRARDEAU

2019 ASPHALT OVERLAY PROGRAM

STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR ON THE BASIS OF A STIPULATED PRICE

THIS AGREEMENT is dated as of the _____ day of _____ in the year 2019 by and between the City of Cape Girardeau, Missouri (hereinafter called OWNER) and Apex Paving Company (hereinafter called CONTRACTOR).

OWNER and CONTRACTOR, in consideration of the mutual covenants hereinafter set forth, agree as follows:

Article 1. WORK.

CONTRACTOR shall complete all Work as specified or indicated in the Contract Documents. The Work is generally described as follows:

The locations for the work to be performed under these Contract Documents are **Hazel Street** from Themis Street to the end of City Maintenance; **Charles Street** from Hawthorne Street to West Rodney Street; **Fairview Place** from Kingshighway to the Cul-De-Sac; **Broadway Street** from Kingshighway to Clark Street; **Alley between Caruthers and Sunset** from Bessie Street to Thilenius Street; **Alley between Sunset and Keller** from Bessie Street to Luce Street; **Carter Street** from the Dead End to West End Boulevard; **Ozark Street** from the Dead End to West End Boulevard; **Ripley Drive** from The Dead End to West End Boulevard; **Missouri Avenue** from Ripley Drive to Stoddard Avenue; **Scott Street** from Perry Avenue to Missouri Avenue; **Alley between Pemiscot and Rose** from the Dead End to West End Boulevard; **Penny Avenue** from New Madrid Street to Dunklin Street; **Forest Avenue** from New Madrid Street to Dunklin Street; **Good Hope Street** from Frederick Street to Aquamsi Street; **Sandstone Lane** from South Lake Drive to the Dead End; **Merriwether Street** from Sprigg Street to Frederick Street; and the **Alley between Big Bend and Spanish** from Fourth Street to the Dead End.

The improvements consist of resurfacing the existing pavement by milling approximately 2 inches off the existing pavement where needed and placing and compacting new hot mix asphalt to result in a 2 inch overlay and removal and replacement of portions of sidewalk, driveways, curb and gutter, in addition to, adjustment of existing utilities and manholes as noted for each location, all as described in the contract documents. The streets are located in various areas within the City of Cape Girardeau, Missouri.

Article 2. ENGINEER.

The City Engineer or his designee is to act as OWNER'S representative, assume all duties and responsibilities and have the rights and authority assigned to ENGINEER in the Contract Documents in connection with completion of the Work in accordance with the Contract Documents.

Article 3. CONTRACT TIMES.

3.1 Regardless of when the work is begun on this contract, all work shall be completed and ready for final payment on or before October 4, 2019.

3.2 *Liquidated Damages.* OWNER and CONTRACTOR recognize that time is of the essence of this Agreement and that OWNER will suffer financial loss if the Work is not completed within the times specified in paragraph 3.1 above, plus any extensions thereof allowed in accordance with Article 12 of the General Conditions. They also recognize the delays, expense and difficulties involved in proving the actual loss suffered by OWNER if the Work is not completed on time. Accordingly, instead of requiring any such proof, OWNER and CONTRACTOR agree that as liquidated damages for delay (but not as a penalty) CONTRACTOR shall pay OWNER One thousand one hundred dollars (\$1100.00) for each calendar day that expires after the time specified in paragraph 3.1 until the Work is complete and the CONTRACTOR is ready for final payment.

Article 4. CONTRACT PRICE.

OWNER shall pay CONTRACTOR for completion of the Work in accordance with the Contract Documents an amount in current funds equal to the sum of the amounts determined pursuant to paragraphs 4.1 and 4.2 below:

4.2 For all Unit Price Work, an amount equal to the sum of the established unit price for each separately identified item of Unit Price Work times the estimated quantity of that item as indicated in the bidding documents.

TOTAL OF ALL UNIT PRICES: Six hundred ninety-three thousand, six hundred forty-two and eighty-four hundredths. (\$693,642.84)

As provided in paragraph 11.9 of the General Conditions estimated quantities are not guaranteed, and determinations of actual quantities and classification are to be made by ENGINEER as provided in paragraph 9.10 of the General Conditions. Unit prices have been computed as provided in paragraph 11.9.2 of the General Conditions.

Article 5. PAYMENT PROCEDURES.

CONTRACTOR shall submit Applications for Payment in accordance with Article 14 of the General Conditions. Applications for Payment will be processed by ENGINEER as provided in the General Conditions.

5.1 *Progress payments; Retainage.* OWNER shall make progress payments on account of the Contract Price on the basis of CONTRACTOR'S Application for Payment as recommended by ENGINEER, on or about the 10th day of each month during construction as provided in paragraphs 5.1.1 and 5.1.2 below. All such payments will be measured by the schedule of values established in paragraph 2.9 of the General Conditions (and in the

case of Unit Price Work based on the number of units completed) or, in the event there is no schedule of values, as provided in the General Requirements.

5.1.1 Prior to Substantial Completion, progress payments will be made in an amount equal to the percentage indicated below, but, in each case, less the aggregate of payments previously made and less such amounts as ENGINEER shall determine, or OWNER may withhold, in accordance with paragraph 14.7 of the General Conditions.

95% of Work completed (with the balance being retainage). If Work has been 50% completed as determined by ENGINEER, and if the character and progress of the Work have been satisfactory to OWNER and ENGINEER, OWNER, on recommendation of ENGINEER, may determine that as long as the character and progress of the Work remain satisfactory to them, there will be no additional retainage on account of Work completed, in which case, the remaining progress payments prior to Substantial Completion will be an amount equal to 100% of the Work completed.

95% (with the balance being retainage) of materials and equipment not incorporated in the Work (but delivered, suitably stored and accompanied by documentations satisfactory to OWNER as provided in paragraph 14.2 of the General Conditions).

5.1.2 Upon Substantial Completion, as agreed to by the OWNER and CONTRACTOR, in an amount sufficient to increase total payments to CONTRACTOR to 98% of the Contract Price (with the balance being retainage), less such amounts as ENGINEER shall determine, or OWNER may withhold, in accordance with paragraph 14.7 of the General Conditions.

5.2 *Final Payment.* Upon final completion and acceptance of the Work in accordance with paragraph 14.13 of the General Conditions, OWNER shall pay the remainder of the Contract Price as recommended by ENGINEER as provided in said paragraph 14.13.

Article 6. INTEREST.

All moneys not paid when due as provided in Article 14 of the General Conditions shall bear interest at the maximum rate allowed by law at the place of the Project.

Article 7. CONTRACTOR'S REPRESENTATIONS.

In order to induce OWNER to enter into the Agreement, CONTRACTOR makes the following representations:

7.1 CONTRACTOR has examined and carefully studied the Contract Documents (including the Addenda listed in paragraph 8) and the other related data identified in the Bidding Documents, including "technical data".

7.2 CONTRACTOR has visited the site and become familiar with and is satisfied as to the general, local and site conditions that may affect cost, progress, performance and furnishing of the Work.

7.3 CONTRACTOR is familiar with and is satisfied as to all federal, state and local Laws and Regulations that may affect cost, progress, performance and furnishing of the Work.

7.4 CONTRACTOR has carefully studied all reports of explorations and tests of subsurface conditions at or contiguous to the site and all drawings of physical conditions in or relating to existing surface or subsurface structures at or contiguous to the site (except Underground Facilities) which have been identified. CONTRACTOR acknowledges that such reports and drawings are not Contract Documents and may not be complete for CONTRACTOR'S purposes. CONTRACTOR acknowledges that OWNER and ENGINEER do not assume responsibility for the accuracy or completeness of information and data shown or indicated in the Contract Documents with respect to Underground Facilities at or contiguous to the site. CONTRACTOR has obtained and carefully studied (or assumes responsibility for having done so) all such additional supplementary examinations, investigations, explorations, tests, studies and data concerning conditions (surface, subsurface and Underground Facilities) at or contiguous to the site or otherwise which may affect cost, progress, performance or furnishing of the Work or which relate to any aspect of the means, methods, techniques, sequences and procedures of construction to be employed by CONTRACTOR and safety precautions and programs incident thereto. CONTRACTOR does not consider that any additional examinations, investigations, explorations, tests, studies or data are necessary for the performance and furnishing of the Work at the Contract Price, within the Contract Times and in accordance with the other terms and conditions of the Contract Documents.

7.5 CONTRACTOR is aware of the general nature of work to be performed by OWNER and others at the site that relates to the Work as indicated in the Contract Documents.

7.6 CONTRACTOR has correlated the information known to CONTRACTOR, information and observation obtained from visits to the site, reports and drawings identified in the Contract documents and all additional examinations, investigations, explorations, tests, studies and data with the Contract Documents.

7.7 CONTRACTOR has given ENGINEER written notice of all conflicts, errors, ambiguities or discrepancies that CONTRACTOR has discovered in the Contract Documents and the written resolution thereof by ENGINEER is acceptable to CONTRACTOR, and the Contract Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the Work.

Article 8. CONTRACT DOCUMENTS.

The Contract Documents which comprise the entire agreement between OWNER and CONTRACTOR concerning the Work consist of the following:

8.1 This Agreement (pages 1 to 7 inclusive).

8.2 Exhibits to this Agreement (pages BF- 1 to BF- 8, inclusive).

8.3 Performance, Payment, and other Bonds, identified as exhibits ____ and consisting of ____ pages.

8.4 Notice to Proceed.

8.5 General Conditions (pages 1 to 55, inclusive). (EJCDC No. 1910-8 1990 Edition)

8.6 Supplementary Conditions (pages SC-1 to SC-5, inclusive).

8.7 Specifications bearing the title 2019 Asphalt Overlay Program.

8.8 Drawings.

8.9 Addenda numbers ____ to ____, inclusive.

8.10 CONTRACTOR'S Bid (pages BF- 1 to BF- 8, inclusive) marked exhibit "A".

8.11 Pursuant to 285.530 R.S. Mo, the contractor must affirm its enrollment and participation in a federal work authorization program with respect to the employees proposed to work in connection with the services requested herein by 1) submitting a completed, notarized copy of AFFIDAVIT OF WORK AUTHORIZATION and 2) providing documentation affirming the bidder's enrollment and participation in a federal work authorization program with respect to the employees proposed to work in connection with the services requested herein.

8.12 Documentation submitted by CONTRACTOR prior to Notice of Award (pages ____ to ____, inclusive).

8.13 The following which may be delivered or issued after the Effective Date of the Agreement and are not attached hereto: All Written Amendments and other documents amending, modifying or supplementing the Contract Documents pursuant to paragraphs 3.5 and 3.6 of the General Conditions.

The documents listed in paragraphs 8.2 et seq. above are attached to this Agreement (except as expressly noted otherwise above).

There are no Contract Documents other than those listed above in the Article 8. The Contract Documents may only be amended, modified or supplemented as provided in paragraphs 3.5 and 3.6 of the General Conditions.

Article 9. MISCELLANEOUS.

9.1 Terms used in this Agreement which are defined in Article 1 of the General Conditions will have the meanings indicated in the General Conditions.

9.2 No assignment by a party hereto of any rights under or interests in the Contract Documents will be binding on another party hereto without the written consent of the party sought to be bound; and, specifically but without limitation, moneys that may become due and moneys that are due may not be assigned without such consent (except to the extent that the effect of this restriction may be limited by law), and unless specifically stated to the contrary in any written consent to an assignment no assignment will release or discharge the assignor from any duty or responsibility under the Contract Documents.

9.3 OWNER and CONTRACTOR each binds itself, its partners, successors, assigns and legal representatives to the other party hereto, its partners, successors, assigns and legal representatives in respect to all covenants, agreements and obligations contained in the Contract Documents.

9.4 Any provision or part of the Contract Documents held to be void or unenforceable under any Law or Regulation shall be deemed stricken, and all remaining provisions shall continue to be valid and binding upon OWNER and CONTRACTOR, who agree that the Contract Documents shall be reformed to replace such stricken provision or part thereof with a valid and enforceable provision that comes as close as possible to expressing the intention of the stricken provision.

9.5 Pursuant to 292.675, R.S. Mo, the contractor is informed that all contractors or subcontractors doing work on this project to provide, and require its on-site employees to complete, a ten (10) hour course in construction safety and health approved by the Occupational Safety and Health Administration ("OSHA") or similar program approved by the Missouri Department of Labor and Industrial Relations which is at least as stringent as an approved OSHA program. The training must be completed within sixty (60) days of the date work on the project commences. On-site employees found on the worksite without documentation of the required training shall have twenty (20) days to produce such documentation.

9.6 The General Contractor shall provide to the City of Cape Girardeau City Engineer's Office weekly certified payrolls from the General Contractor and all Subcontractors during the course of the project. These must be provided on a weekly basis; if no work was done, then a payroll stating "No Work Done" must be submitted.

IN WITNESS WHEREOF, OWNER and CONTRACTOR have signed the Agreement in multiple copies, One counterpart each has been delivered to CONTRACTOR and ENGINEER and two counterparts to the OWNER. All portions of the Contract Documents have been signed, initialed or identified by OWNER and CONTRACTOR or identified by ENGINEER on their behalf.

This Agreement will be effective on _____, 20____ (which is the Effective Date of the Agreement).

OWNER City of Cape Girardeau

CONTRACTOR Apex Paving Company

Scott Meyer, City Manager

By: _____
[CORPORATE SEAL]

By: _____
[CORPORATE SEAL]

Attest _____
Bruce Taylor, Deputy City Clerk

Attest _____

Address for giving notices

Address for giving notices

401 Independence Street

P.O. Box 637

Cape Girardeau, MO 63703

Cape Girardeau, MO 63702

(If OWNER is a public body, attach evidence of authority to sign and resolution or other documents authorizing execution of Agreement.

License No. _____

Agent for service of process:

(If CONTRACTOR is corporation, attach evidence of authority to sign.)

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CITY OF CAPE GIRARDEAU

2019 ASPHALT OVERLAY PROGRAM

BID FORM
(EJCDC 1910-18) (1990)

PROJECT IDENTIFICATION: The locations for the work to be performed under these Contract Documents are **Hazel Street** from Themis Street to the end of City Maintenance; **Charles Street** from Hawthorne Street to West Rodney Street; **Fairview Place** from Kingshighway to the Cul-De-Sac; **Broadway Street** from Kingshighway to Clark Street; **Alley between Caruthers and Sunset** from Bessie Street to Thilenius Street; **Alley between Sunset and Keller** from Bessie Street to Luce Street; **Carter Street** from the Dead End to West End Boulevard; **Ozark Street** from the Dead End to West End Boulevard; **Ripley Drive** from The Dead End to West End Boulevard; **Missouri Avenue** from Ripley Drive to Stoddard Avenue; **Scott Street** from Perry Avenue to Missouri Avenue; **Alley between Pemiscot and Rose** from the Dead End to West End Boulevard; **Penny Avenue** from New Madrid Street to Dunklin Street; **Forest Avenue** from New Madrid Street to Dunklin Street; **Good Hope Street** from Frederick Street to Aquamsi Street; **Sandstone Lane** from South Lake Drive to the Dead End; **Merriwether Street** from Sprigg Street to Frederick Street; and the **Alley between Big Bend and Spanish** from Fourth Street to the Dead End.

The improvements consist of resurfacing the existing pavement by milling approximately 2 inches off the existing pavement where needed and placing and compacting new hot mix asphalt to result in a 2 inch overlay and removal and replacement of portions of sidewalk, driveways, curb and gutter, in addition to, adjustment of existing utilities and manholes as noted for each location, all as described in the contract documents. The streets are located in various areas within the City of Cape Girardeau, Missouri.

THIS BID IS SUBMITTED TO: CITY OF CAPE GIRARDEAU, MO
401 INDEPENDENCE STREET
CAPE GIRARDEAU, MO 63703

1. The undersigned BIDDER proposes and agrees, if the Bid is accepted, to enter into an agreement with OWNER in the form included in the Contract Documents to perform and furnish all Work as specified or indicated in the Contract Documents for the Bid Price and within the Bid Times indicated in this Bid and in accordance with the other terms and conditions of the Contract Documents.

2. BIDDER accepts all of the terms and conditions of the Advertisement or Invitation to Bid and Instructions to Bidders, including without limitation those dealing with the disposition of Bid security. This Bid will remain subject to acceptance for sixty days after the day of Bid opening. BIDDER will sign and deliver the required number of counterparts of the

Agreement with the Bonds and other documents required by the Bidding Requirements within fifteen days after the date of OWNER'S notice of Award.

3. In submitting this Bid, BIDDER represents, as more fully set forth in the Agreement, that:

(a) BIDDER has examined and carefully studied the Bidding Documents and the following:

Addenda, receipt of all which is hereby acknowledged: (List Addenda by Addendum Number and Date)

Addendum #1 4-19-19

(b) BIDDER has visited the site and become familiar with and is satisfied as to the general, local and site conditions that may affect cost, progress, performance and furnishing of the Work;

(c) BIDDER is familiar with and is satisfied as to all federal, state and local Laws and Regulations that may affect cost, progress, performance and furnishing of the Work.

(d) BIDDER has carefully studied all reports of explorations and tests of subsurface conditions at or contiguous to the site and all drawings of physical conditions in or relating to existing surface or subsurface structures at or contiguous to the site (except Underground Facilities) which have been identified. BIDDER acknowledges that such reports and drawings are not Contract Documents and may not be complete for BIDDER'S purposes. BIDDER acknowledges that OWNER and Engineer do not assume responsibility for accuracy or completeness of information and data shown or indicated in the Bidding Documents with respect to Underground Facilities at or contiguous to the site. BIDDER has obtained and carefully studied (or assumes responsibility for having done so) all such additional or supplementary examinations, investigations, explorations, tests, studies and data concerning conditions (surface, subsurface and Underground Facilities) at or contiguous to the site or otherwise which may affect cost progress, performance or furnishing of the Work or which relate to any aspect of the means, methods, techniques, sequences and procedures of construction to be employed by BIDDER and safety precautions and programs incident thereto. BIDDER does not consider that any additional examinations, investigations, explorations, tests, studies or data are necessary for the determination of this Bid for performance and furnishing of the Work in accordance with the times, price and other terms and conditions of the Contract Documents.

(e) BIDDER is aware of the general nature of Work to be performed by Owner and others at the site that relates to Work for which this Bid is submitted as indicated in the Contract Documents.

(f) BIDDER has correlated the information known to BIDDER, information and observations obtained from visits to the site, reports and drawings identified in the Contract

Documents and all additional examinations, investigations, explorations, tests, studies and data with the Contract Documents.

(g) BIDDER has given Engineer written notice of all conflicts, errors, ambiguities or discrepancies that BIDDER has discovered in the Contract Documents and the written resolution thereof by ENGINEER is acceptable to BIDDER, and the Contract Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performing and furnishing the Work for which this Bid is submitted.

Any questions, comments, or concerns regarding the design of this project should be addressed to Jake Garrard, E.I., City of Cape Girardeau at 573-339-6327.

(h) This Bid is genuine and not made in the interest of or on behalf of any undisclosed person, firm or corporation and is not submitted in conformity with any agreement or rules of any group association, organization or corporation; BIDDER has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid; BIDDER has not solicited or induced any person, firm or corporation to refrain from bidding; and BIDDER has not sought by collusion to obtain for itself any advantage over any other Bidder or over OWNER.

(i) Pursuant to 285.530 RSMo, the bidder must affirm its enrollment and participation in a federal work authorization program with respect to the employees proposed to work in connection with the services requested herein by

- submitting a completed, notarized copy of **AFFIDAVIT OF WORK AUTHORIZATION** and
- providing documentation affirming the bidder's enrollment and participation in a federal work authorization program with respect to the employees proposed to work in connection with the services requested herein.
- <http://www.uscis.gov/portal/site/uscis>

(j) Bidders are informed that the Project is subject to the requirements of Section 292.675, R.S. Mo, which requires all contractors or subcontractors doing work on the Project to provide, and require its on-site employees to complete, a ten (10) hour course in construction safety and health approved by the Occupational Safety and Health Administration ("OSHA") or similar program approved by the Missouri Department of Labor and Industrial Relations which is at least as stringent as an approved OSHA program. The training must be completed within sixty (60) days of the date work on the Project commences. On-site employees found on the worksite without documentation of the required training shall have twenty (20) days to produce such documentation.

4. BIDDER will complete the Work in accordance with the Contract Documents for the following price(s):

UNIT PRICE BID

NO	ITEM	UNIT	EST. QTY.	UNIT PRICE	TOTAL EST. PRICE
1	Butt Joint and Spot Milling	SY	5075	\$ <u>7.62</u>	\$ <u>38,671.50</u>
2	Street Milling	SY	9515	\$ <u>3.41</u>	\$ <u>32,446.15</u>
3	Alley Preparation	Each	4	\$ <u>2,801.85</u>	\$ <u>11,207.40</u>
4	Type 5 Aggregate	Ton	95	\$ <u>57.03</u>	\$ <u>5,417.85</u>
5	Liquid Asphalt (Tack Coat)	Gallon	3145	\$ <u>2.25</u>	\$ <u>7,076.25</u>
6	Asphaltic Concrete (2" or 4" Thick BP-2)	Ton	4655	\$ <u>73.39</u>	\$ <u>341,630.45</u>
7	Remove & Replace Concrete Curb & Gutter	LF	3100	\$ <u>28.00</u>	\$ <u>86,800.00</u>
8	Remove & Replace Concrete Sidewalk	SY	1135	\$ <u>43.25</u>	\$ <u>49,088.75</u>
9	Remove & Replace Concrete Driveway	SY	635	\$ <u>54.00</u>	\$ <u>34,290.00</u>
10	ADA Ramp	Each	34	\$ <u>1000.00</u>	\$ <u>34,000.00</u>
11	Adjust Manhole	Each	19	\$ <u>302.70</u>	\$ <u>5,751.30</u>
12	Adjust Valve	Each	12	\$ <u>75.00</u>	\$ <u>900.00</u>
13	Full Depth Repair	SY	1020	\$ <u>37.44</u>	\$ <u>38,188.80</u>
14	Temporary Traffic Control	LS	1	\$ <u>2,409.06</u>	\$ <u>2,409.06</u>
15	Temporary Erosion Control	LS	1	\$ <u>5,765.33</u>	\$ <u>5,765.33</u>

TOTAL BID FOR ALL UNIT PRICES

\$ 693,642.84

Six Hundred Ninety Three Thousand, Six Hundred Forty Two and

Eighty Four Cents.

(Written figure)

(Total bid amount is to be shown in both words and figures. In case of discrepancy, the amount shown in words will govern. In case of error in extension, the unit and lump sum prices under each Pay Item will be considered correct, and these sums when properly extended, shall constitute the Bid.)

Unit Prices have been computed in accordance with paragraph 11.9.2 of the General Conditions.

BIDDER acknowledges that quantities are not guaranteed and final payment will be based on actual quantities determined as provided in the Contract Documents.

5. BIDDER agrees that the Work will be complete and ready for final payment by October 4, 2019.

BIDDER accepts the provisions of the Agreement as to liquidated damages in the event of failure to complete the Work within the time specified in the Agreement.

6. The following documents are attached to and made a condition of this Bid:

- (a) Required Bid Security in the form of bid bond or cashiers check.
- (b) Acknowledgement of any addenda issued.
- (c) Exhibit Affidavit of Work Authorization
- (d) Exhibit Affidavit of Excessive Unemployment (if applicable)
- (e) The E-Verify Program for Unemployment Verification Memorandum of Understanding <http://www.uscis.gov/files/nativedocuments/MOU.pdf>
- (f) Exhibit Affidavit of OSHA Training
- (g) Certification Regarding Debarment, Suspension and Other Responsibility Matters

7. Bidder agrees to submit the following documents within three (3) business days after the opening of Bids if requested:

- (a) BIDDER'S Qualification Statement with supporting data.

8. Communications concerning this Bid shall be addressed to:

Name Austin Williams 573-450-3896

Address 1208 S. Kings Highway Cape Girardeau, MO 63702

(a) Performance and Payment Bonding Company

Name _____

Address _____

Agent/Power of Attorney Name (if used) _____

Address _____

9. Terms used in the Bid which are defined in the General conditions or Instructions will have the meanings indicated in the General Conditions or Instructions.

SUBMITTED on April 23, 2019.

State Contractor License No. MoDOT Vendor #-0010371

IF BIDDER is:

An Individual

By _____ (SEAL)
(Individual's Name)

doing business as _____

Business address: _____

Phone No.: _____

A Partnership

By _____ (SEAL)
(Firm Name)

(General Partner)

Business address: _____

Phone No.: _____

A Corporation

By Apex Paving dba Asa Asphalt (SEAL)
(Corporation Name)

Missouri

(State of Incorporation)

By Cecilia Cain (SEAL)
(Name of Person Authorized to Sign)

Cecilia Cain, Estimator

(Title)

(Corporate Seal)

Attest

Sarah Weadon

Sarah Weadon, Asst. Secretary
(Secretary)

Business address: PO Box 637

Cape Girardeau, MO 63702

Phone No.: 573-331-7561

Date of Qualification to do business is May 26, 1978

A Joint Venture

By _____ (SEAL)

(Name)

(Address)

By _____ (SEAL)

(Name)

(Address)

Phone Number and Address for receipt of official communications:

(Each joint venturer must sign. The manner of signing for each individual, partnership and corporation that is a party to the joint venture should be in the manner indicated above.)

BREAKDOWN OF WORK FORCE (Required):

The Contractor shall be registered with the Missouri Secretary of State in order to work on this project.

BIDDER hereby states that he will perform the following items of work directly without employment of subcontractors:

Items 1-6

Items 11-15

It is anticipated that the following subcontractors will be employed for work on this project:

*SUBCONTRACTORS:

(Name of Company)

(Type of Work)

Road Runner

Traffic Control

Kluesner Contractors

Concrete

* All subcontractors shall be registered with the Missouri Secretary of State in order to work on this project.

THE AMERICAN INSTITUTE OF ARCHITECTS

AIA Document A310 Bid Bond

KNOW ALL MEN BY THESE PRESENTS, THAT WE Apex Paving Company

P.O. Box 637, Cape Girardeau, MO 63702

as Principal, hereinafter called the Principal, and Liberty Mutual Insurance Company

175 Berkeley Street, Boston, MA 02116

a corporation duly organized under the laws of the State of Massachusetts

as Surety, hereinafter called the Surety, are held and firmly bound unto City of Cape Girardeau

as Obligee, hereinafter called the Obligee, in the sum of 5% of bid total

Dollars (\$ _____),

for the payment of which sum well and truly to be made, the said Principal and the said Surety, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the Principal has submitted a bid for _____

NOW, THEREFORE, if the Obligee shall accept the bid of the Principal and the Principal shall enter into a Contract with the Obligee in accordance with the terms of such bid, and give such bond or bonds as may be specified in the bidding or Contract Documents with good and sufficient surety for the faithful performance of such Contract and for the prompt payment of labor and materials furnished in the prosecution thereof, or in the event of the failure of the Principal to enter such Contract and give such bond or bonds, if the Principal shall pay to the Obligee the difference not to exceed the penalty hereof between the amount specified in said bid and such larger amount for which the Obligee may in good faith contract with another party to perform the Work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect.

Signed and sealed this 22nd day of April, 2019



(Witness)

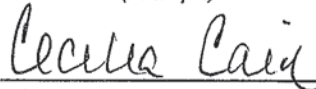
Sarah Weadon, Asst. Secretary

Apex Paving Company

(Principal)

(Seal)

By:



Cecilia Cain, Estimator

(Title)

Liberty Mutual Insurance Company

(Surety)

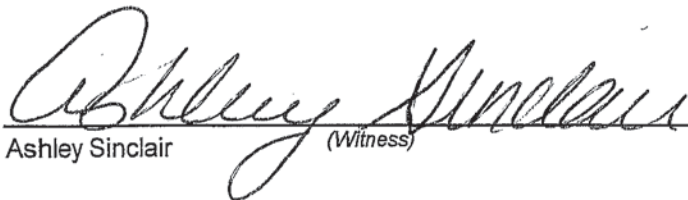
(Seal)

By:



Attorney-in-Fact Nicole Ann Clark

(Title)



(Witness)

Ashley Sinclair

THIS POWER OF ATTORNEY IS NOT VALID UNLESS IT IS PRINTED ON RED BACKGROUND.

This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated.

Certificate No. 7590339

Liberty Mutual Insurance Company
The Ohio Casualty Insurance Company West American Insurance Company

POWER OF ATTORNEY

KNOWN ALL PERSONS BY THESE PRESENTS: That The Ohio Casualty Insurance Company is a corporation duly organized under the laws of the State of New Hampshire, that Liberty Mutual Insurance Company is a corporation duly organized under the laws of the State of Massachusetts, and West American Insurance Company is a corporation duly organized under the laws of the State of Indiana (herein collectively called the "Companies"), pursuant to and by authority herein set forth, does hereby name, constitute and appoint, Adam Martin; Aimee R. Perondine; Aiza Lopez; Ashley Sinclair; Brian Peters; Danielle D. Johnson; Donna M. Planeta; Jennifer M. Garten; Joshua Sanford; Kerl Ann Smith; Michelle Anne McMahon; Nicole Ann Clark; Stacy Rivera; Stephani A. Trudeau

all of the city of Hartford, state of CT each individually if there be more than one named, its true and lawful attorney-in-fact to make, execute, seal, acknowledge and deliver, for and on its behalf as surety and as its act and deed, any and all undertakings, bonds, recognizances and other surety obligations, in pursuance of these presents and shall be as binding upon the Companies as if they have been duly signed by the president and attested by the secretary of the Companies in their own proper persons.

IN WITNESS WHEREOF, this Power of Attorney has been subscribed by an authorized officer or official of the Companies and the corporate seals of the Companies have been affixed thereto this 10th day of January, 2017.



The Ohio Casualty Insurance Company
Liberty Mutual Insurance Company
West American Insurance Company

By: *David M. Carey*
David M. Carey, Assistant Secretary

STATE OF PENNSYLVANIA ss
COUNTY OF MONTGOMERY

On this 10th day of January, 2017, before me personally appeared David M. Carey, who acknowledged himself to be the Assistant Secretary of Liberty Mutual Insurance Company, The Ohio Casualty Company, and West American Insurance Company, and that he, as such, being authorized so to do, execute the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my notarial seal at King of Prussia, Pennsylvania, on the day and year first above written.



COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Teresa Pastella, Notary Public
Upper Merion Twp., Montgomery County
My Commission Expires March 28, 2017
Member, Pennsylvania Association of Notaries

By: *Teresa Pastella*
Teresa Pastella, Notary Public

This Power of Attorney is made and executed pursuant to and by authority of the following By-laws and Authorizations of The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company, and West American Insurance Company which resolutions are now in full force and effect reading as follows:

ARTICLE IV - OFFICERS - Section 12. Power of Attorney. Any officer or other official of the Corporation authorized for that purpose in writing by the Chairman or the President, and subject to such limitation as the Chairman or the President may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Corporation to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Corporation by their signature and execution of any such instruments and to attach thereto the seal of the Corporation. When so executed, such instruments shall be as binding as if signed by the President and attested to by the Secretary. Any power or authority granted to any representative or attorney-in-fact under the provisions of this article may be revoked at any time by the Board, the Chairman, the President or by the officer or officers granting such power or authority.

ARTICLE XIII - Execution of Contracts - SECTION 5. Surety Bonds and Undertakings. Any officer of the Company authorized for that purpose in writing by the chairman or the president, and subject to such limitations as the chairman or the president may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Company by their signature and execution of any such instruments and to attach thereto the seal of the Company. When so executed such instruments shall be as binding as if signed by the president and attested by the secretary.

Certificate of Designation - The President of the Company, acting pursuant to the Bylaws of the Company, authorizes David M. Carey, Assistant Secretary to appoint such attorneys-in-fact as may be necessary to act on behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

Authorization - By unanimous consent of the Company's Board of Directors, the Company consents that facsimile or mechanically reproduced signature of any assistant secretary of the Company, wherever appearing upon a certified copy of any power of attorney issued by the Company in connection with surety bonds, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

I, Renee C. Llewellyn, the undersigned, Assistant Secretary, The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company, and West American Insurance Company, do hereby certify that the original power of attorney of which the foregoing is a full, true and correct copy of the Power of Attorney executed by said Companies, is in full force and effect and has not been revoked.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seals of said Companies this _____ day of _____, 20____.



By: *Renee C. Llewellyn*
Renee C. Llewellyn, Assistant Secretary

Not valid for mortgage, note, loan, letter of credit, currency rate, interest rate or residual value guarantees.

To confirm the validity of this Power of Attorney call 1-610-832-8240 between 9:00 am and 4:30 pm EST on any business day.



LIBERTY MUTUAL INSURANCE COMPANY
FINANCIAL STATEMENT — DECEMBER 31, 2015

Assets		Liabilities	
Cash and Bank Deposits	\$753,038,641	Unearned Premiums	\$6,580,520,311
*Bonds — U.S Government	1,547,613,446	Reserve for Claims and Claims Expense	16,917,138,677
*Other Bonds	11,088,162,545	Funds Held Under Reinsurance Treaties	210,794,503
*Stocks	9,919,835,033	Reserve for Dividends to Policyholders	358,033
Real Estate	295,926,247	Additional Statutory Reserve	29,659,093
Agents' Balances or Uncollected Premiums	4,487,501,643	Reserve for Commissions, Taxes and	
Accrued Interest and Rents	120,872,424	Other Liabilities	<u>2,789,478,276</u>
Other Admitted Assets	<u>14,130,266,527</u>	Total	<u>\$26,527,948,893</u>
		Special Surplus Funds	\$67,890,944
		Capital Stock	10,000,000
		Paid in Surplus	8,829,183,823
		Unassigned Surplus	6,908,192,846
		Surplus to Policyholders	<u>15,815,267,613</u>
Total Admitted Assets	<u>\$42,343,216,506</u>	Total Liabilities and Surplus	<u>\$42,343,216,506</u>



* Bonds are stated at amortized or investment value; Stocks at Association Market Values.
The foregoing financial information is taken from Liberty Mutual Insurance Company's financial statement filed with the state of Massachusetts Department of Insurance.

I, TIM MIKOLAJEWSKI, Assistant Secretary of Liberty Mutual Insurance Company, do hereby certify that the foregoing is a true, and correct statement of the Assets and Liabilities of said Corporation, as of December 31, 2015, to the best of my knowledge and belief.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said Corporation at Seattle, Washington, this 15th day of March, 2016.

TAMikolajewski

Assistant Secretary

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Company ID Number: 171596

Information Required for the E-Verify Program

Information relating to your Company:

Company Name	Delta Companies Inc
Company Facility Address	114 S. Silver Springs Road Cape Girardeau, MO 63701
Company Alternate Address	
County or Parish	CAPE GIRARDEAU
Employer Identification Number	223223589
North American Industry Classification Systems Code	237
Parent Company	Delta Companies Inc
Number of Employees	100 to 499
Number of Sites Verified for	26

Company ID Number: 171596

Approved by:

Employer Delta Companies Inc	
Name (Please Type or Print) Debbi C Robinson	Title
Signature Electronically Signed	Date 12/16/2008
Department of Homeland Security – Verification Division	
Name (Please Type or Print) USCIS Verification Division	Title
Signature Electronically Signed	Date 12/16/2008



Company ID Number: 171596

Are you verifying for more than 1 site? If yes, please provide the number of sites verified for in each State:

ARKANSAS	6 site(s)
ILLINOIS	5 site(s)
MISSOURI	15 site(s)

Company ID Number: 171596

Information relating to the Program Administrator(s) for your Company on policy questions or operational problems:

Name Taylor Kim
Phone Number (573) 334 - 5261
Fax Number (573) 332 - 0931
Email Address tkim@deltacos.com

Name Courtney Smith
Phone Number (573) 334 - 5261
Fax Number
Email Address csmith@deltacos.com

Name Phillip Heimbecker
Phone Number (573) 334 - 5261
Fax Number (573) 332 - 0931
Email Address pheimbecker@deltacos.com

EXHIBIT
AFFIDAVIT OF OSHA TRAINING

COMES NOW (Name) Cecilia Cain as (Office Held) Estimator
of (Company Name/Contractor) Apex Paving dba ASA Asphalt and first being duly sworn, on
my oath, affirm in connection with the contracted services related to 2019 Cape Girardeau Overlay
Program (Project Name) for the duration of the contract, as follows:

1. Contractor shall provide a ten (10) hour Occupational Safety and Health Administration (OSHA) construction safety program for all employees who will be on-site at the Project. The construction safety program shall include a course in construction safety and health that is approved by OSHA or a similar program approved by the Missouri Department of Labor and Industrial Relations which is at least as stringent as an approved OSHA program as required by Section 292.675, RSMo.

2. Contractor shall require its on-site employees to complete a construction safety program within sixty (60) days after the date work on the Project commences, as required by Section 292.675, RSMo.

3. Contractor acknowledges and agrees that any of Contractor's employees found on the Project site without documentation of the successful completion of a construction safety program shall be required to produce such documentation within twenty (20) days, or will be subject to removal from the Project.

4. Contractor shall require all of its Subcontractors to comply with the requirements of Section 292.675, RSMo.

5. Contractor acknowledges that pursuant to Section 292.675, RSMo., Contractor shall forfeit to City as a penalty two thousand five hundred dollars (\$2,500.000), plus one hundred dollars (\$100.00) for each on-site employee employed by Contractor or its Subcontractor, for each calendar day, or portion thereof, such on-site employee is employed without the construction safety training required in Section 292.675, RSMo.

6. Contractor acknowledges that violations of Section 292.675, RSMo., and imposition of the penalties described therein shall be investigated and determined by the Missouri Department of Labor and Industrial Relations.

7. Contractor acknowledges that in the event that the Missouri Department of Labor and Industrial Relations has determined that a violation of Section 292.675, RSMo., has occurred

and that a penalty shall be assessed, the City shall withhold and retain all sums and amounts due and owing when making payments to Contractor under this Contract.

FURTHER AFFIANT SAITH NOT.

IN AFFIRMATION THEREOF, the facts stated above are true and correct (the undersigned understands that false statements made in this filing are subject to the penalties provided in Section 575.040, RSMo.)

Apex Paving dba Asa Asphalt

(name of corporation)

By:

Cecilia Cain

(name of officer of corporation and title) Cecilia Cain, Estimator

ATTEST:

Sarah Weadon

Secretary (or other officer)

Sarah Weadon, Asst. Sec.

(SEAL OF CORPORATION)

STATE OF MISSOURI

COUNTY OF CAPE GIRARDEAU

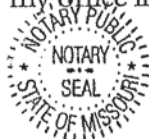
)

) ss.

)

On this 22 day of April, 2018, before me appeared Cecilia Cain, to me personally known, who, being by me duly sworn, did say that he/she is the Estimator of Apex Paving dba Asa Asphalt, a Missouri Corporation, and that the seal affixed to the foregoing instrument is the seal of said Corporation, and that the said instrument was signed and sealed in behalf of said Corporation by authority of its Board of Directors, and acknowledged said instrument to be the free act and deed of said Corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal, at my office in Cape Girardeau, Missouri, the day and year first above written.



BROOKE PUCKETT
My Commission Expires
February 24, 2021
Scott County
Commission #13666747

Brooke Puckett
Notary Public

My Commission Expires:

February 24, 2021

EXHIBIT
AFFIDAVIT OF WORK AUTHORIZATION

COMES NOW (Name) Cecilia Cain as (Office Held) Estimator
of (Company Name/Contractor) Apex Paving dba Asa Asphalt and first being duly sworn, on
my oath, affirm as follows:

1. (Company Name/Contractor) Apex Paving dba Asa Asphalt
is enrolled and will continue to participate in a federal work authorization program in respect to
employees that will work in connection with the contracted services related to (Project Name) 2019
Cape Girardeau Overlay Program for the duration of the contract in accordance with RSMo
Chapter 285.530(2).

2. I also affirm that (Company Name/Contractor) Apex Paving dba Asa Asphalt does
not and will not knowingly employ a person who is an unauthorized alien in connection with the
contract services related to (Project Name) 2019 Cape Girardeau Overlay Program for
the duration of the contract.

3. Attached hereto is documentation affirming Contractor's enrollment and
participation in a federal work authorization program with respect to the employees working in
connection with the contracted services.

FURTHER AFFIANT SAITH NOT.

IN AFFIRMATION THEREOF, the facts stated above are true and correct (the
undersigned understands that false statements made in this filing are subject to the
penalties provided in Section 575.040, RSMo.)

Apex Paving dba Asa Asphalt
(name of corporation)
By: Cecilia Cain
(name of officer of corporation and title) Cecilia Cain, Estimator

ATTEST:

Sarah Weadon
Secretary (or other officer) Sarah Weadon, Asst. SEd.

(SEAL OF CORPORATION)

STATE OF MISSOURI

)
) ss.
)

COUNTY OF CAPE GIRARDEAU

On this 22 day of April, 2019, before me appeared Cecilia Cain,
to me personally known, who, being by me duly sworn, did say that he/she is the Estimator
of Apex Paving dba Asa Asphalt, a Missouri Corporation, and that the seal affixed to the
foregoing instrument is the seal of said Corporation, and that the said instrument was signed and
sealed in behalf of said Corporation by authority of its Board of Directors, and acknowledged said
instrument to be the free act and deed of said Corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal, at
my office in Cape Girardeau, Missouri, the day and year first above written.



BROOKE PUCKETT
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Brooke Puckett
Notary Public

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February 24, 2021

CITY of CAPE GIRARDEAU

Certification Regarding Debarment, Suspension and Other Responsibility Matters

The contractor hereby certifies to the best of its knowledge and belief and that it and its principals and its subcontractors and their principals:

- (a) Are not presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from covered transactions by any Federal or State department or agency;
- (b) Have not within a three (3) year period preceding this proposal been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain or performing a public (Federal, State or Local) transaction or contract under a public transaction; violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements or receiving stolen property;
- (c) Are not presently indicted for or otherwise criminally or civilly charged by a government entity (Federal, State or Local) with commission of any of the offenses enumerated in paragraph (1)(b) of this certification; and
- (d) Have not within a three-year period preceding this subcontract had one or more public transactions (Federal, State or Local) terminated for cause or default.

I understand that a false statement on this certification may be grounds for rejection of this contractor or termination of the contract. In addition, under 18 USC Sec. 1001, a false statement may result in a fine of up to \$ 10,000 or imprisonment for up to five (5) years or both.

Cecilia Cain, Estimator

Typed Name & Title of Authorized Representative

Cecilia Cain
Signature of Authorized Representative

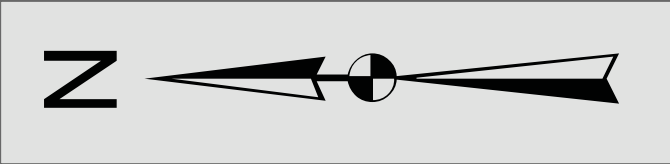
4/22/19

Date

☐ I am unable to certify to the above statement. My explanation is attached.

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A detailed street map of a city grid. The map is oriented with North at the top, indicated by a north arrow in the top right corner. The title '2019 Asphalt Overlay Overview Map' is located in the top left corner. The map shows a dense network of streets, with red lines highlighting specific streets for asphalt overlay. The red lines are placed on streets such as Broadway, Main St, and various residential streets like Oakwood Dr and Elm St. The map includes numerous street names, such as Broadway, Main St, Oakwood Dr, Elm St, and many others. The red lines are placed on streets that are highlighted in red on the map.




BID OPENING

DATE: April 23, 2019
TIME: 10:00 AM
PLACE: DEVELOPMENT SERVICES
CONFERENCE ROOM

SUMMARY OF PROPOSALS RECEIVED FOR: 2019 Asphalt Overlay Program

Project No. 6227

Compiled by: Cindy Redecker

ENGINEER'S ESTIMATE				Emery Sapp & Sons, Inc. 2301 L-70 Drive NW Columbia, MO 65202		Apex Paving Company PO Box 637 Cape Girardeau, MO 63702	
ITEM NO.	DESCRIPTION	UNITE	QUANTITY	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
1	Butt Joint and Spot Milling	SY	5075	\$ 12.00	\$ 60,900.00	\$ 5.81	\$ 29,485.75
2	Street Milling	SY	9515	\$ 8.00	\$ 76,120.00	\$ 2.52	\$ 23,977.80
3	Alley Preparation	Each	4	\$ 5,000.00	\$ 20,000.00	\$ 3,197.00	\$ 12,788.00
4	Type 5 Aggregate	Ton	95	\$ 25.00	\$ 2,375.00	\$ 66.75	\$ 6,341.25
5	Liquid Asphalt (Tack Coat)	Gallon	3145	\$ 2.50	\$ 7,862.50	\$ 2.25	\$ 7,076.25
6	Asphaltic Concrete (2" or 4" Thick BP-2)	Ton	4655	\$ 65.00	\$ 302,575.00	\$ 69.67	\$ 324,313.85
7	Remove & Replace Concrete Curb & Gutter	LF	3100	\$ 40.00	\$ 124,000.00	\$ 31.30	\$ 97,030.00
8	Remove & Replace Concrete Sidewalk	SY	1135	\$ 45.00	\$ 51,075.00	\$ 51.65	\$ 58,622.75
9	Remove & Replace Concrete Driveway	SY	635	\$ 55.00	\$ 34,925.00	\$ 57.15	\$ 36,290.25
10	ADA Ramp	Each	34	\$ 1,100.00	\$ 37,400.00	\$ 1,360.00	\$ 46,240.00
11	Adjust Manhole	Each	19	\$ 200.00	\$ 3,800.00	\$ 259.00	\$ 4,921.00
12	Adjust Valve	Each	12	\$ 75.00	\$ 900.00	\$ 106.00	\$ 1,272.00
13	Full Depth Repair	SY	1020	\$ 45.00	\$ 45,900.00	\$ 42.20	\$ 43,044.00
14	Temporary Traffic Control	LS	1	\$ 10,000.00	\$ 10,000.00	\$ 5,800.10	\$ 5,800.10
15	Temporary Erosion Control	LS	1	\$ 10,000.00	\$ 10,000.00	\$ 1,540.00	\$ 1,540.00
I hereby certify that the above is a true and correct summary of proposals received:				\$	\$ 787,832.50	\$	\$ 698,743.00
PROJECT MANAGER  Jake Garrard				Liberty Mutual Surety 5%		Liberty Mutual Surety 5% "Low Bidder"	

BID OPENING

DATE: April 23, 2019
 TIME: 10:00 AM
 PLACE: DEVELOPMENT SERVICES
 CONFERENCE ROOM

**SUMMARY OF PROPOSALS RECEIVED FOR:
 2019 Asphalt Overlay Program**

Project No. 6227

Compiled by: Cindy Redecker

				ENGINEER'S ESTIMATE		Vern Bauman Contracting Co. 21471 Highway 32	
				UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
ITEM NO.	DESCRIPTION	UNITE	QUANTITY	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
1	Butt Joint and Spot Milling	SY	5075	\$ 12.00	\$ 60,900.00	5.20	26,390.00
2	Street Milling	SY	9515	\$ 8.00	\$ 76,120.00	3.12	29,686.80
3	Alley Preparation	Each	4	\$ 5,000.00	\$ 20,000.00	1,858.40	7,433.60
4	Type 5 Aggregate	Ton	95	\$ 25.00	\$ 2,375.00	48.48	4,605.60
5	Liquid Asphalt (Tack Coat)	Gallon	3145	\$ 2.50	\$ 7,862.50	2.07	6,510.15
6	Asphaltic Concrete (2" or 4" Thick BP-2)	Ton	4655	\$ 65.00	\$ 302,575.00	74.54	346,983.70
7	Remove & Replace Concrete Curb & Gutter	LF	3100	\$ 40.00	\$ 124,000.00	34.59	107,229.00
8	Remove & Replace Concrete Sidewalk	SY	1135	\$ 45.00	\$ 51,075.00	46.81	53,129.35
9	Remove & Replace Concrete Driveway	SY	635	\$ 55.00	\$ 34,925.00	49.93	31,705.55
10	ADA Ramp	Each	34	\$ 1,100.00	\$ 37,400.00	1,248.36	42,444.24
11	Adjust Manhole	Each	19	\$ 200.00	\$ 3,800.00	252.50	4,797.50
12	Adjust Valve	Each	12	\$ 75.00	\$ 900.00	151.50	1,818.00
13	Full Depth Repair	SY	1020	\$ 45.00	\$ 45,900.00	41.87	42,707.40
14	Temporary Traffic Control	LS	1	\$ 10,000.00	\$ 10,000.00	\$ 40,892.92	40,892.92
15	Temporary Erosion Control	LS	1	\$ 10,000.00	\$ 10,000.00	\$ 27,202.44	27,202.44
I hereby certify that the above is a true and correct summary of proposals received:				\$	\$ 787,832.50	\$	\$ 773,536.25


 PROJECT MANAGER

Jake Garrard

United Fire and Casualty Co.
 5%

Staff: Kelly Green P.E., City Engineer
Agenda: 5/6/2019

SUBJECT

Acceptance of public improvements to serve Williamsburg Phase 4, in the City of Cape Girardeau.

BACKGROUND/DISCUSSION

Brandon O. Williams Development, LLC (Brandon O. Williams) constructed public improvements to serve Williamsburg Phase 4. The improvements consisted of **water, sanitary sewer, storm sewer, lighting, street and sidewalk infrastructure.**

Water

2,362 LF of 8 inch C-900 PVC Water Line
5 - Fire Hydrant Assemblies

Sanitary Sewer

15 - Standard Manholes
3,024 LF of 8 inch SDR-35 PVC Sanitary Sewer Main

Storm Sewer

8 - Catch Basins
61 LF of 15 inch RCP Storm Pipe
30 LF of 30 inch RCP Storm Pipe
27 LF of 36 inch RCP Storm Pipe

Lighting

5 Street Lights

Streets

638 LF of Wheelwright Drive Concrete Street Extension
540 LF of Silversmith Court Concrete Street (new street)
785 LF of Revolution Drive Concrete Street (new street)

Sidewalks

6 - ADA Ramps

Per the Performance Guarantee Agreement, if the developer does not complete all the public sidewalks in two years, as approved by Resolution on 1-22-18 (unless otherwise amended by City Council), the City may complete the outstanding improvements and draw from the developer’s letter of credit to cover costs.

The improvements are complete and ready to be accepted into the City's system. These improvements were inspected by City Staff and were completed generally in accordance with the approved plans.


FINANCIAL IMPACT

The improvements were installed by private contract. Once accepted into the City's system, the City will be responsible for routine maintenance and, if necessary, any repairs.

STAFF RECOMMENDATION

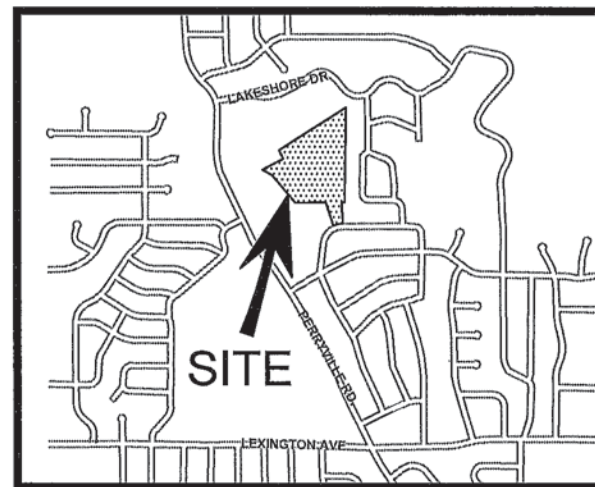
Staff recommends the Council accept, by motion, the public improvements to serve Williamsburg Phase 4 into the City's System.

ATTACHMENTS:

Name:	Description:
 Williamsburg_Ph 4 As-Builts - Council Attachment.pdf	Williamsburg Phase 4 As-Builts

IMPROVEMENT PLANS FOR WILLIAMSBURG PHASE 4

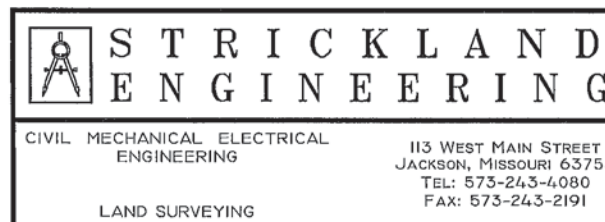
PART OF UNITED STATES PRIVATE SURVEY NO. 2198, TOWNSHIP 31 NORTH,
RANGE 13 EAST IN THE CITY AND COUNTY OF CAPE GIRARDEAU, MISSOURI



LOCATION MAP
NOT TO SCALE

DEVELOPED BY
BRANDON O. WILLIAMS DEVELOPMENT, LLC.
2985 BOUTIN DRIVE
CAPE GIRARDEAU, MO 63701

ENGINEER



RECORD DRAWING
3-25-19

PROJECT BENCHMARK
EXISTING FIRE HYDRANT ON WEST SIDE
OF PERRYVILLE ROAD ACROSS FROM
SUBDIVISION ENTRANCE
"0" IN OPEN = 458.41

UTILITY JURISDICTION

- | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------|
| • SEWER
CITY OF CAPE GIRARDEAU
PUBLIC WORKS
2007 SOUTHERN EXPRESSWAY
CAPE GIRARDEAU, MO 63703
(573) 339-6351
MR. STEVE COOK | • WATER
ALLIANCE WATER RESOURCES
2007 SOUTHERN EXPRESSWAY
CAPE GIRARDEAU, MO 63703
(573) 651-6200
MR. KEVIN PRIESTER (573) 339-6357 |
| • TELEPHONE
AT&T
800 BROADWAY
CAPE GIRARDEAU, MO 63701
(573) 339-0463
MR. TOM KILBURN (573) 339-9476 | • CABLE TV
CHARTER COMMUNICATIONS
620 SOUTH SILVER SPRINGS RD.
CAPE GIRARDEAU, MO 63703
(800) 458-2427
MR. KELLEY BROWNLEE (573) 003-1410 |
| • ELECTRIC / GAS
AMEREN UE
45 S. MINNESOTA
CAPE GIRARDEAU, MO 63701
(573) 651-5800
MR. RAY PEREZ (573) 651-5723 (ELECTRIC)
MR. JOSH BEUSSINK (573) 651-5040 (GAS) | • MISSOURI ONE-CALL
1-800-DIG-RITE |



UTILITY INFORMATION
THE LOCATION OF UNDERGROUND UTILITIES AS
SHOWN ARE BASED ON ABOVE GROUND
STRUCTURES AND INFORMATION PROVIDED BY THE
UTILITY COMPANIES. LOCATIONS OF UNDERGROUND
UTILITIES STRUCTURES MAY VARY FROM LOCATIONS
SHOWN. ADDITIONAL BURIED UTILITIES STRUCTURES
MAY BE ENCOUNTERED. NO EXCAVATIONS WERE
MADE IN THE PROCESS OF THIS SURVEY TO LOCATE
BURIED UTILITIES STRUCTURES.

SHEET INDEX

COVER SHEET
SITE PLAN
GENERAL NOTES & QUANTITIES
STORM DETAILS
DETENTION BASIN DETAILS & STORM DETAILS
GRADING & EROSION CONTROL PLAN
WHEELWRIGHT DR. STREET & WATERLINE PLAN & PROFILES
SILVERSMITH CT. STREET & WATERLINE PLAN & PROFILES
REVOLUTION DR. STREET PLAN & PROFILE
REVOLUTION DR. WATERLINE PLAN & PROFILE
SANITARY - EX MH 19 - MH 29 PLAN & PROFILE
SANITARY - MH 29 - MH 31 & MH 28 - MH 35 PLAN & PROFILES
SANITARY - MH 28 - MH 34 & MH 26 - MH 32 PLAN & PROFILES
SANITARY - MH 29 - MH 38 PLAN & PROFILE
STORM SEWER PROFILES
EROSION CONTROL DETAILS
STREET CROSS SECTIONS - WHEELWRIGHT DRIVE
STREET CROSS SECTIONS - REVOLUTION DRIVE
STREET CROSS SECTIONS - REVOLUTION DR & SILVERSMITH CT
SWPPP EXHIBIT

1
2
3
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REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION, WORKS ON PERRYVILLE RD. & L. A. & T. RD.	5-18-18			
2	ISSUED FOR CONSTRUCTION, WORKS ON PERRYVILLE RD. & L. A. & T. RD.	5-29-18			

IMPROVEMENT PLANS FOR
WILLIAMSBURG PHASE 4
CAPE GIRARDEAU, MISSOURI

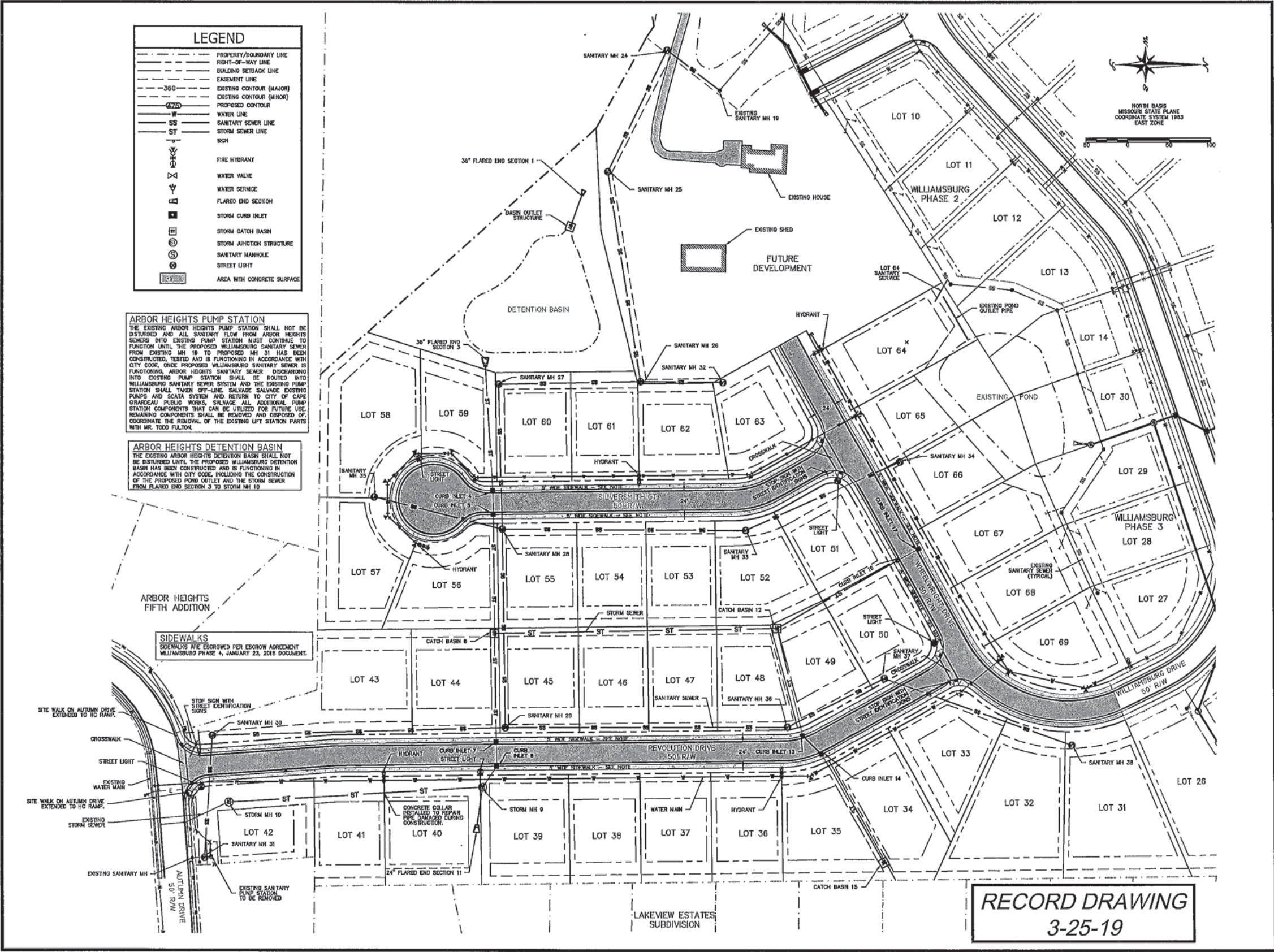
STRICKLAND
ENGINEERING
113 WEST MAIN STREET
JACKSON, MISSOURI 63755
TEL: 573-243-4080
FAX: 573-243-2191

DRAWING TITLE

COVER
SHEET

SCALE As Noted
DATE 2-22-18
DRAWN BY MTM
JOB No. 17-056
DRAWING
NUMBER 1
CONSECUTIVE NUMBER
OF 20

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LEGEND

---	PROPERTY/BOUNDARY LINE
---	RIGHT-OF-WAY LINE
---	BUILDING SETBACK LINE
---	EASEMENT LINE
---	EXISTING CONTOUR (MAJOR)
---	EXISTING CONTOUR (MINOR)
---	PROPOSED CONTOUR
W	WATER LINE
SS	SANITARY SEWER LINE
ST	STORM SEWER LINE
+	HYDRANT
+	WATER VALVE
+	WATER SERVICE
+	FLARED END SECTION
+	STORM CURB INLET
+	STORM CATCH BASIN
+	STORM JUNCTION STRUCTURE
+	SANITARY MANHOLE
+	STREET LIGHT
+	AREA WITH CONCRETE SURFACE

ARBOR HEIGHTS PUMP STATION
THE EXISTING ARBOR HEIGHTS PUMP STATION SHALL NOT BE DISTURBED AND ALL SANITARY FLOW FROM ARBOR HEIGHTS SEWERS INTO EXISTING PUMP STATION MUST CONTINUE TO FUNCTION UNTIL THE PROPOSED WILLIAMSBURG SANITARY SEWER FROM EXISTING MH 19 TO PROPOSED MH 31 HAS BEEN CONSTRUCTED, TESTED AND IS FUNCTIONING IN ACCORDANCE WITH CITY CODE. ONCE PROPOSED WILLIAMSBURG SANITARY SEWER IS FUNCTIONING, ARBOR HEIGHTS SANITARY SEWER DISCHARGING INTO EXISTING PUMP STATION SHALL BE ROUTED INTO WILLIAMSBURG SANITARY SEWER SYSTEM AND THE EXISTING PUMP STATION SHALL BE TAKEN OFF-LINE. SALVAGE EXISTING PUMPS AND SCATA SYSTEM AND RETURN TO CITY OF CAPE GIRARDEAU PUBLIC WORKS. SALVAGE ALL ADDITIONAL PUMP STATION COMPONENTS THAT CAN BE UTILIZED FOR FUTURE USE. REMAINING COMPONENTS SHALL BE REMOVED AND DISPOSED OF. COORDINATE THE REMOVAL OF THE EXISTING PUMP STATION PARTS WITH MR. TODD FLATON.

ARBOR HEIGHTS DETENTION BASIN
THE EXISTING ARBOR HEIGHTS DETENTION BASIN SHALL NOT BE DISTURBED UNTIL THE PROPOSED WILLIAMSBURG DETENTION BASIN HAS BEEN CONSTRUCTED AND IS FUNCTIONING IN ACCORDANCE WITH CITY CODE, INCLUDING THE CONSTRUCTION OF THE PROPOSED POND OUTLET AND THE STORM SEWER FROM FLARED END SECTION 3 TO STORM MH 10.

SIDEWALKS
SIDEWALKS ARE ESCROWED PER ESCROW AGREEMENT WILLIAMSBURG PHASE 4, JANUARY 23, 2018 DOCUMENT.

SEAL OF MISSOURI
MARK L. STRICKLAND
REGISTERED PROFESSIONAL ENGINEER
7/22/19

REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE
1	ADD LOT 64 SANITARY SERVICE	5-18-18			
2	ADD LOT 64 SANITARY SERVICE	5-29-18			

IMPROVEMENT PLANS FOR WILLIAMSBURG PHASE 4

CAPE GIRARDEAU, MISSOURI

STRICKLAND ENGINEERING

113 WEST MAIN STREET
JACKSON, MISSOURI 63755
TEL: 573-623-4080
FAX: 573-623-5191

CIVIL - MECHANICAL - PLUMBING - ELECTRICAL ENGINEERING
LAND SURVEYING

DRAWING TITLE

SITE PLAN

SCALE	As Noted
DATE	2-22-18
DRAWN BY	MTM
JOB No.	17-056
DRAWING NUMBER	2
CONSECUTIVE NUMBER OF	2 OF 20

RECORD DRAWING
3-25-19

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1. ALL CONSTRUCTION IS TO MEET THE CITY OF CAPE GRANDE STANDARDS INCLUDING SPECIFICATIONS AND DETAILS.
2. OWNER TO PROVIDE CONSTRUCTION STAKING FOR THE PROJECT. CONTRACTOR WILL BE CHARGED FOR RESTAKING IF DESTROYED BY CONTRACTOR'S OPERATIONS.
3. STONE FOR RIP RAP BLANKET SHALL BE SOUND, DURABLE, AND FREE FROM CRACKS AND OTHER STRUCTURAL DEFECTS THAT WOULD CAUSE IT TO DEGRADE. IF STALL NOT CONTAIN ANY SPOONING, SHALE, OR OTHER HEAVY STONE.
4. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
5. **SAFETY NOTICE TO CONTRACTOR**
 THE CONTRACTOR SHALL ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

2. POLYVINYL CHLORIDE (PVC) SEWER PIPE AND FITTINGS: ASTM D 3034 (4" - 18"), SDR 35, FOR GASKETED JOINTS.
3. REINFORCED-CONCRETE SEWER PIPE AND FITTINGS: ASTM C 76, CLASS II, WALL B, FOR GASKETED JOINTS.
3. HIGH-DENSITY POLYETHYLENE (HDPE) PIPE AND FITTINGS: ASHSTO M 254, FOR GASKETED JOINTS.
4. PRECAST CONCRETE MANHOLES: ASTM C 478. PRECAST, REINFORCED CONCRETE, OF DEPTH INDICATED, WITH PROVISION FOR COVER, MANHOLE JOINTS OR INTERRUPTED MANHOLE SEALING.
5. STORMWATER INLETS SHALL BE CONSTRUCTED OF PRE-CAST OR CAST-IN-PLACE CONCRETE OF THE SIZE AND SHAPE DETAILED IN THE DRAWINGS.
6. ALL STORM INLETS SHALL HAVE A PLATE ON TOP OF STRUCTURE STATING "DRAINAGE TO RIVER".
7. INSTALL PIPING BEGINNING AT LOW POINT OF SYSTEMS, THENCE TO GRADES AND ALIGNMENT INDICATED WITH UNIFORMITY THROUGHOUT ENTIRE LENGTH OF EACH PIPING SECTION. ALL GASKETS, SEALS, GLEDS, AND COUPLINGS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS FOR USE OF LUBRICANTS, CEMENTS, AND OTHER INSTALLATION REQUIREMENTS. MAINTAIN SNAG OR DRAG IN LINE AND FULL PAST EACH JOINT AS IT IS COMPLETED.
8. USE PROPER SIZE INCREASERS, REDUCERS, AND COUPLINGS, WHERE DIFFERENT SIZES OR MATERIALS OF PIPES AND FITTINGS ARE CONNECTED. REDUCTION OF THE SIZE OF PIPING IN THE DIRECTION OF FLOW IS PROHIBITED.
9. JOIN PIPING MADE OF DIFFERENT MATERIALS OR DIMENSIONS WITH COUPLINGS MADE FOR THE APPLICATION. USE COUPLINGS THAT ARE COMPATIBLE WITH THE FIT BOTH SYSTEMS MATERIALS AND DIMENSIONS.
10. SEWER LINES SHALL BE Laid AT LEAST TEN (10) FEET HORIZONTAL FROM ANY EXISTING OR PROPOSED WATER MAINS. ALL EXISTING AND PROPOSED WATER MAINS SHALL BE Laid TO DEPTH INDICATED. SEWER LINES SHALL BE Laid TO PROVIDE A MINIMUM VELOCITY, DISTANCE OF TWENTY FOUR (24) INCHES BETWEEN THE OUTSIDE OF THE WATER LINE AND THE OUTSIDE OF THE SANITARY SEWER LINE. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER.
11. INSTALL MANHOLES AND INLETS, COMPLETE WITH ACCESSORIES, AS INDICATED. PLACE PRE-CAST CONCRETE MANHOLE SECTIONS AS INDICATED, AND INSTALL ACCORDING TO ASTM C 891. PROVIDE RUBBER JOINT GASKET COMPLYING WITH ASTM C 443 ON ANY PUTTY BRITANNIC MANHOLE SEALANT AT JOINTS OF SECTIONS TO PROVIDE AN EFFECTIVE WATERTIGHT JOINT. MANHOLE FRAMES SHALL BE SET ON A FULL BED OF MORTAR. APPLY ASPHALT WATERPROOFING TO EXTERIOR SURFACE OF MANHOLE.
12. INSTALL CLEANOUTS AND RISER EXTENSION FROM SEWER PIPE TO CLEANOUT AT GRADE. USE CAST-IRON SOLID PIPE FITTINGS IN SEWER PIPES AT BRANCHES FOR CLEANOUTS AND CAST-IRON SOLID PIPE FOR RISER EXTENSIONS TO CLEANOUT. CLEANOUTS SHALL BE INSTALLED AT GRADE IN SEWER PIPE SET CLEANOUT FRAMES AND COVERS IN EARTH IN A CAST-IN-PLACE CONCRETE BLOCK, 18" BY 18" BY 12" INCHES DEEP. SET WITH TOPS IN FIRM ASH SUBSIDIARY EARTH GRADE. SET CLEANOUT FRAMES AND COVERS IN CONCRETE PAVING WITH TOPS IN FIRM ASPHALT.
13. MAKE CONNECTIONS TO EXISTING PIPING AND UNDERGROUND STRUCTURES SO FINISHED WORK CONFORMS AS NEARLY AS PRACTICAL TO REQUIREMENTS SPECIFIED FOR NEW WORK. USE COMMERCIALLY MANUFACTURED WYE FITTINGS FOR PIPING BRANCH CONNECTIONS FOR HOUSE SERVICE TO GRAVITY SEWER LINES. THE WYE FITTINGS SHALL HAVE AN INSIDE RADIUS OF NOT LESS THAN ONE AND ONE HALF TIMES THE DIAMETER OF THE MAIN LINE. THE WYE SHALL BE SPECIFIED FOR THE GRAVITY SEWER LINE. PROTECT EXISTING PIPING AND STRUCTURES TO PREVENT CORROSION OR DISTURBING WHILE MAKING THE CONNECTIONS. REMOVE DEBRIS OR OTHER EXTRANEOUS MATERIAL THAT MAY ACCUMULATE.

1. ALL WORK SHALL COMPLY WITH THE CITY OF CAPE GIRARDEAU STANDARD TECHNICAL SPECIFICATIONS FOR WATER MAIN EXTENSIONS.
2. ALL WATERLINES SHALL BE PVC MEETING ASTM D1764, AWWA C900 CLASS 200 PSI, DR 18, CAST IRON EQUIVALENT.
3. FIRE HYDRANTS TO BE MANUFACTURED BY MUELLER OR KLOW AND SHALL BE APPROVED BY THE CITY. FIRE HYDRANTS AND VALVES WILL BE PROVIDED BY THE CONTRACTOR AND INSTALLATION IS PART OF THE WORK SHOWN.
4. SERVICE CONNECTIONS ARE TO BE MADE UNDER THIS CONTRACT.
5. COORDINATE WATER TAPS WITH ALLIANCE WATER.
6. ALL FITTINGS SHALL BE DR-18 FITTINGS CONFORMING TO AWWA C110.
7. ALL COMBINATION FITTINGS, VALVES, AND HYDRANTS ARE TO BE ANCHORED TO EACH OTHER USING ANCHOR FITTING.
8. CONTRACTOR SHALL "POTHOLE" THE END OF THE EXISTING WATER MAIN TO DETERMINE GRADE ELEVATION AND SIZE EXISTING MAIN.
9. COORDINATION WITH OTHER UNDERGROUND UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
10. MAINTAIN 10' HORIZONTAL AND 2' VERTICAL SEPARATION BETWEEN SEWER AND WATER LINES.
11. INSTALL ANCHOR COUPLINGS ON ALL VALVE, TEE, AND VALVE HYDRANT CONNECTIONS, WHERE APPLICABLE.
12. SEE STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION CONSTRUCTION FOR PIPE DEFLECTION DATA.
13. CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY.
14. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF CAPE GIRARDEAU'S STANDARD CONSTRUCTION SPECIFICATIONS FOR WATER MAIN EXTENSIONS.

1. CITY OF CAPE GIRARDEAU NO "STANDARD SPECIFICATIONS FOR STREET IMPROVEMENTS, CURRENT YEAR" SHALL BE THE ONLY CHART APPLICABLE.
2. PORTLAND CEMENTS CONCRETE PER STANDARD SPECIFICATIONS.
3. ALL CURB RADIi MAY BE VARIED WITH APPROVAL OF ENGINEER.
4. INCREASE PAVEMENT THICKNESS ONE INCH FOR MAJOR STREETS.
5. ALL FORMED JOINTS TO HAVE 1/8" R" AT TOP EDGE OF PAVEMENT.
6. TYPE D KEY JOINT WHEN USED AS A LONGITUDINAL JOINT SHALL BE SAWED 1 1/2" DEEP AND FILLED WITH JOINT SEALER.
7. EXPANSION JOINTS PLACED AT APPROXIMATELY 60' INTERVALS OR AS DESIGNATED BY CITY ENGINEER.
8. CONTRACTION JOINTS PLACED AT APPROXIMATELY 20' INTERVALS OR AS DESIGNATED BY CITY ENGINEER.
9. WELD OR MECHANICALLY ATTACH #9 GA SPACERS TO BOTTOM OF #6 GA TOP SPACER BAR AS SHOWN. #9 GA SPACERS TO BE REMOVED FOR PLACEMENT OF JOINT FILLER IN THE FIELD.
10. ADJUST JOINTS AS DIRECTED TO ALIGN WITH CENTERS OF BOX OUT AS SHOWN.
11. JOINT SEALER TO BE PLACED TO 1/4" BELOW SURFACE.
12. FINISH SLAB TO 189 LINE WHERE CURB IS OMITTED IF SO DIRECTED. COST TO BE COVERED BY PRICE BID FOR PCD PAVEMENT.
13. DROP PAVEMENT AROUND INLET OPENINGS AS DIRECTED.
14. SEE SPECIFIC PLANS FOR DETAIL OF RIGHT OF WAY AREA FROM BACK OF CURB.
15. DEFORMED THE BARS IN LONGITUDINAL CONTRACTION JOINTS SHALL BE PLACED ON 8 FOOT CENTERS. WHERE PAVEMENT IS CONSTRUCTED WITH INTEGRAL CURBS, THE BARS MAY BE PLACED AT 2.6 FEET EACH SIDE OF TRANSVERSE JOINTS.
16. BARS MAY BE PLACED AT 2.5 FEET EACH SIDE OF TRANSVERSE JOINTS.
17. SAW OUT DEPTH SHALL BE ONE QUARTER OF PAVEMENT THICKNESS EXCEPT TYPE "D" JOINT SAW TO 1 1/4" DEEP.
18. LOCAL STREETS OF 30 FOOT WIDTH PAVEMENT MAY BE PLACED BY POURING ONE HALF WIDTH AT A TIME PROVIDED TYPE "C" JOINTS ARE PLACED AT A QUARTER PORTS OF PAVEMENT WIDTH AND TYPE "D" JOINT PLACED AT CENTER LINE.
19. SLAB WIDTH BETWEEN LONGITUDINAL JOINTS SHALL BE A MINIMUM OF 7.5 FEET AND A MAXIMUM OF 13 FEET.
20. SIDEWALK CONSTRUCTION SHALL TAKE PLACE DURING THE STREET CONSTRUCTION PHASE.

1. LIMITS OF DISTURBANCE
THE CONTRACTOR SHALL LIMIT DISTURBANCE OF THE SITE IN ACCORDANCE WITH THE EROSION CONTROL PLAN. ANY WORK OUTSIDE THIS PLAN, NO UNNECESSARY OR IMPROPER SEQUENCED CLEARING AND /OR GRADING SHALL BE PERMITTED.
2. CAUTION TO CONTRACTOR
IF PROPERLY IMPLEMENTED, THIS PLAN WILL PROVIDE AN EFFECTIVE MEANS FOR CONTROLLING EROSION AND PREVENTING ANY ACCIDENTS THAT NO ONE CAN BE PREPARED THAT WILL DEPEND ALL POSSIBLE CONTROL. MEASURES NECESSARY FOR VARIOUS STAGES OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE BEST MEANS TO PREVENT EROSION. MEASURES NECESSARY TO COMPLY WITH THE CODES FOR THE DURATION OF THE CONSTRUCTION PROJECT.
3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT NECESSARILY ALL THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING THE APPROPRIATE UTILITY COMPANY TO LOCATE BEFORE EXCAVATION. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO THE INITIATION OF ANY CONSTRUCTION. CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES ENCOUNTERED WITHIN THE CONSTRUCTION AREA.
4. SPECIFICATIONS REQUIREMENTS
THE REQUIREMENTS SHOWN ON THIS PLAN ARE SUPPLEMENTED BY THE SPPF CONTAINED WITHIN THE EROSION CONTROL PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SPPF SPECIFICATIONS AND THE ACTUAL GENERAL PERMIT, THE MOST STRICT OF THE REQUIREMENTS SHALL APPLY.
5. PERMANENT SOAKING-SUDS TO BE A LOCALLY GROWN TURF FESCUE SOO SEED MIXTURE FROM REGIONAL SUPPLIER AND TO BE SUITABLE FOR LOCAL CLIMATE.
6. ALL WORK SHALL COMPLY WITH THE CITY OF CAPE GIRARDEAU AND STATE OF MISSOURI DEPARTMENT OF NATURAL RESOURCES LAND DISTURBANCE REGULATIONS.
7. THE EROSION CONTROL MEASURES ARE SHOWN ON THE PLAN USING SYMBOLS. REFER TO THE LEGEND FOR A LIST AND MEANING OF THE SYMBOLS.
8. ALL DISTURBED AREAS SHALL BE COVERED AND MULCHED AFTER CONSTRUCTION IS COMPLETE AND MUST BE IN COMPLIANCE WITH THE CITY OF CAPE GIRARDEAU EROSION CONTROL PLAN. SEEDING OF THE PHASED SO TO GROUND SHALL BE ORDERED AS ESTABLISHED SEEDING.
9. THE FINAL OUTCOMES SHOWN ARE APPROXIMATE AND MAY BE CHANGED IN THE FIELD WITH THE APPROVAL OF THE CITY ENGINEER. THE GOAL BEING TO GRADE THE SITE TO MINIMIZE THE OCCURRENCE OF DRAINAGE PROBLEMS.
10. THE CITY OF CAPE GIRARDEAU REQUIRES THAT THE CONTRACTOR HAVE COMPACTION TESTING PERFORMED ON ALL FILL AREAS. THIS DATA MUST BE RECORDED IN A FORM THAT ALLOWS THE TEST RESULTS TO BE CORRELATED TO THE LOCATION OF THE FILL. THE FILL MUST BE ONE PASSING TEST FOR EACH 8 INCHES OF FILL ON EACH LOT WITHIN THE FILLED AREAS.
11. ALL SOIL COMPACTION TESTING SHALL BE SUBMITTED TO THE CITY OF CAPE GIRARDEAU ON ALL PROPOSED FILL SITES.
12. THIS TRACT IS LOCATED IN USFS NO. 2189, TOWNSHIP 31 NORTH, RANGE 13 EAST OF THE FIFTH PRINCIPAL MERIDIAN, IN THE CITY AND COUNTY OF CAPE GIRARDEAU, MISSOURI.
13. IN ORDER TO TERMINATE A STATE OPERATING PERMIT THE MISSOURI DEPARTMENT OF NATURAL RESOURCES REQUIRES THAT THE PERMITTEE SUBMIT A COMPLETED FORM-NR-1 (INCLUDED WITH THE APPROVED PERMIT) TO THE MONITOR. A PERMIT IS ELIGIBLE FOR TERMINATION WHEN EITHER PERENNIAL VEGETATION, FURNISH, PLANTINGS, OR STRUCTURES USING PERMANENT MATERIALS COVER THE DISTURBED AREA. A VEGETATION COVER SHALL BE COVERED SHALL BE AT LEAST 70% OF THE ESTABLISHED PLANT DENSITY OVER 100% OF THE DISTURBED AREA. A COPY OF FORM-NR SHOULD BE SUBMITTED TO THE CITY AT WHICH TIME THE CITY WILL REMOVE THE PROJECT FROM ITS INSPECTION SCHEDULE.
14. LAND DISTURBANCE SITES SHOULD BE INSPECTED ON A REGULAR SCHEDULE AND WITHIN A REASONABLE TIME PERIOD (NOT TO EXCEED 48 HOURS) FOLLOWING ANY RAIN EVENT PRODUCING RUNOFF. REGULAR INSPECTIONS OF THE DISTURBED AREAS SHOULD BE CONDUCTED WITHIN SEVEN CALENDAR DAYS OF THE REPORT. CONTRACTORS ARE REQUIRED TO SUBMIT TO CITY INSPECTION STAFF COPIES OF THE INSPECTION REPORTS REQUIRED BY THE STATE WATER POLLUTION PREVENTION PLAN (SWPPP) ON A MONTHLY BASIS.
15. DISPOSE OF MATERIAL REMOVED FROM MAINTENANCE OF TRAPS IN BLACK DIRT STOCK PILES.

1. THE PROJECT CONSISTS OF CREATING A TEN LOT SUBDIVISION ALONG WITH ITS REQUIRED INFRASTRUCTURE. THIS INCLUDES CONSTRUCTION OF THE HOUSES, ROWWAYS, SANITARY SEWERS, ELECTRICAL, AND WATER LINES. THE DEVELOPER HAS BEEN ADVISED THAT THE CONSTRUCTION OF THESE ARE NOT SIGNIFICANT SILTATION OR EROSION CONTROL PROBLEM AREAS ON THE SITE AT THIS TIME. HOWEVER, CONSTRUCTION OF THESE IMPROVEMENTS MAY CREATE THE POTENTIAL OF SILTATION AND EROSION PROBLEMS DURING CONSTRUCTION.
2. TO MY KNOWLEDGE THERE ARE NO EXISTING OFF-SITE EROSION, SILTATION PROBLEMS DOWN STREET FROM THIS DEVELOPMENT. THE DEVELOPMENT WILL HAVE MINOR IMPACTS TO THE EXISTING CREEK/ DRAINAGE DRAIN STREAM FROM THE SITE DURING THE 10 MONTHS OF DEVELOPMENT. AFTER CONSTRUCTION, LONG TERM DRAINAGE ACTIVITIES WILL DIMINISH AND THERE WILL BE LITTLE TO NO OFF-SITE IMPACTS.
3. THE CURRENT RUNOFF FACTORS INCLUDE SEASONAL LEAF COVER ON TREES AND PLANTS AND FESCUE PASTURE. THE SITE WILL CHANGE FROM APPROXIMATELY ONE IMPERVIOUS AREA TO APPROXIMATELY 30% IMPERVIOUS AREA.
4. THE MANAGEMENT OF THE EROSION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/OWNER UNTIL ALL AREAS ARE ESTABLISHED WITH NEW GROUND COVER.
5. THE CONSTRUCTION OF THE PROJECT SHALL INCLUDE THE PHASES OF CLEARING, GRADING, UTILITY INSTALLATION, PAVING AND BUILDING CONSTRUCTION. THE ENTIRE SITE SHALL BE GRADED AT ONE PERCENT SLOPE. SLOPES SHALL BE DESIGNED FOR AND SHALL BE STABLE AND NON-ERODIBLE WITHIN THE LESSER OF 30 WORKING DAYS OR 120 CALENDAR DAYS AFTER COMPLETION OF THE CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE INSTALLED AND PROPERLY MAINTAINED IN ACCORDANCE WITH AN APPROPRIATE BEST MANAGEMENT PRACTICE. ALL GRADING ACTIVITIES SHALL BE DONE IN A MANNER THAT CONFORMS TO THE MEASURES SHOWN ON THE PLAN.
6. THE EROSION CONTROL MEASURES SHOWN ON THE PLAN WERE CHOSEN AS THE BEST MANAGEMENT PRACTICE APPROVED BY THE TOWN ENGINEER.
7. THE EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A PRECIPITATION EVENT OF 0.5" OR GREATER, TO INSURE MAXIMUM EFFECTIVENESS OF THE PROTECTIVE MEASURES.
8. IN ORDER TO ACHIEVE THE PREVENTATIVE MAINTENANCE EFFORTS ARE CARRIED OUT WHEN NEEDED, ALL AREAS SHALL BE STABILIZED WITHIN 7 DAYS OF THE COMPLETION OF GRADING. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND THE WASTE MATERIALS REMOVED AND DISPOSED OF PROPERLY.
9. ALL STORM DRAINS WILL HAVE SALT PILES PLACED AROUND THEM FOR EROSION CONTROL PRIOR TO THE TEMPORARY OF PAYMENT.
10. ALL PLACEMENT CONSTRUCTION ENTRANCES SHALL BE 20' W X 20' L X 8" DEEP, 2" WASH STONE.

1. SUBSTANCES REGULATED BY FEDERAL LAW UNDER THE RESOURCE CONSERVATION AND RECOVERY ACT (RCRA) OR THE COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT (CERCLA) WHICH ARE TRANSPORTED, STORED OR USED FOR RESTORATION, CLEANING OR REPAIRS SHALL BE MANAGED ACCORDING TO THE PROVISIONS OF RCRA AND CERCLA.
2. ALL PAINTS, SOLVENTS, PETROLEUM PRODUCTS AND PETROLEUM WASTE PRODUCTS (EXCEPT FUELS) AND STORAGE CONTAINERS (SUCH AS DRUMS, CANS, OR CARTONS) SHALL BE STORED SUCH THAT CONTAMINANTS ARE NOT RELEASED TO THE ENVIRONMENT. SUCH PRACTICES OF SPILL PREVENTION, CONTROL, AND/OR MANAGEMENT SHALL BE PROVIDED TO PREVENT ANY SPILLS OF SUCH CONTAMINANTS FROM OCCURRING. ANY PERSON OR FIRM WHOSE FACILITY IS REQUIRED TO IMPLEMENT THIS REQUIREMENT SHALL BE CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE SUBSTANCES CONTAINED AND SHALL ALSO PREVENT THE CONTAMINATION OF GROUNDWATER.
3. THE APPLICANT SHALL NOTIFY BY TELEPHONE AND IN WRITING THE DEPARTMENT OF NATURAL RESOURCES, WATER POLLUTION CONTROL PROGRAM, POST OFFICE BOX 176, JEFFERSON CITY, MO 64101, AND 361-1767 OF ANY RELEASE OF SUCH SUBSTANCES IF HAZARDOUS SUBSTANCES ARE FOUND DURING THE RESTORATION OF WORK UNDER THIS PERMIT.

STRUCTURE NAME	TOP ELEVATION	PROPOSED PIPE SIZE & INVERT ELEVATION			
		N	S	E	W
SANITARY SEWER					
Ex Sanitary MH 19	457.0		8" - 445.58		8" - 445.48
Sanitary MH 24	453.53	8" - 446.03		8" 446.13	
Sanitary MH 25	455.59			8" - 447.94	8" - 447.84
Sanitary MH 26	468.49	8" - 460.09	8" - 458.24		8" - 458.8
Sanitary MH 27	466.03	8" - 459.68		8" - 459.78	
Sanitary MH 28	472.14	8" - 463.09	8" - 463.09	8" - 462.89	8" - 461.49
Sanitary MH 29	475.44	8" - 464.14	8" - 464.14		8" - 464.04
Sanitary MH 30	495.12	8" - 480.32		8" - 480.42	
Sanitary MH 31	495.12		8" - 484.07		8" - 483.97
Sanitary MH 32	474.48		8" - 467.68		
Sanitary MH 33	484.57	8" - 478.11	8" - 478.01		
Sanitary MH 34	490.68		8" - 479.93		
Sanitary MH 35	477.14	8" - 468.69			
Sanitary MH 36	488.60	8" - 477.40	8" - 475.50		
Sanitary MH 37	501.31	8" - 488.51	8" - 488.41		
Sanitary MH 38	512.88		8" - 502.68		
STRUCTURE NAME	TOP ELEVATION	PROPOSED INVERT SIZE & ELEVATION			
		N	S	E	W
STORM SEWER					
Flared End Section 1				36" - 456.47	
Basin Outlet Structure	462.93				36" - 456.93
Flared End Section 3				36" - 462.64	
Curb Inlet 4	470.42			36" - 465.42	36" - 465.32
Curb Inlet 5	470.47			36" - 465.70	36" - 465.60
Catch Basin 6	473.50	15" 469.40		36" - 468.00	36" - 467.90
Curb Inlet 7	475.15			30" - 469.65	36" - 469.15
Curb Inlet 8	475.15			30" - 470.35	30" - 470.25
Storm MH 9	475.21		24" - 471.86	24" - 471.30	30" - 470.86
Storm MH 10	493.44	24" - 481.80	24" - 481.69		
Flared End Section 11					24" - 471.60
Catch Basin 12	489.00	15" - 483.55		18" - 483.15	18" - 483.05
Curb Inlet 13	490.30			15" - 485.45	18" - 485.20
Curb Inlet 14	491.64			15" - 486.54	15" - 486.44
Catch Basin 15	492.54				15" - 489.99
Curb Inlet 16	495.30	15" - 491.25	15" - 491.15		
Curb Inlet 17	495.37		15" - 491.62		

ITEM	QUANTITY	UNIT
Street & Site Grading		
7" Concrete Pavement	4,886	SY
Concrete Curb	4,278	LF
4" Type 1 Aggregate Road Base	4,886	SY
Street Light	5	EA
Stop Sign w/Street Identification Signs	3	EA
Handicap Ramps	6	EA
Concrete Sidewalk	21,453	SF
Storm Sewer		
Curb Inlets	8	EA
Catch Basin	3	EA
Storm Manhole	2	EA
Retention Basin Outlet Structure	1	EA
24" Flared End Section	1	EA
36" Flared End Section	2	EA
15" RCP	374	LF
18" RCP	470	LF
24" RCP	350	LF
30" RCP	59	LF
36" RCP	489	LF
Rip Rap	258	SY
Erosion Control		
Construction Entrance	1	EA
Silt Fencing	1,065	LF
Erosion Eels	8	EA
Seed & Mulch	14.7	AC
Sanitary Sewer		
Concrete Manholes	15	EA
8" PVC Sewer Main	3,024	LF
4" PVC Sewer Lateral	1,021	LF
8"x4" Sewer Wye	39	EA
Removal of Existing Pump Station	1	EA
Watermain		
8" Tapping Saddle & Valve	1	EA
8" PVC Water Main	2,362	LF
3/4" Water Service	39	EA
Fire Hydrant Assembly	5	EA
8" Gate Valve	3	EA

GENERAL NOTES & QUANTITIES

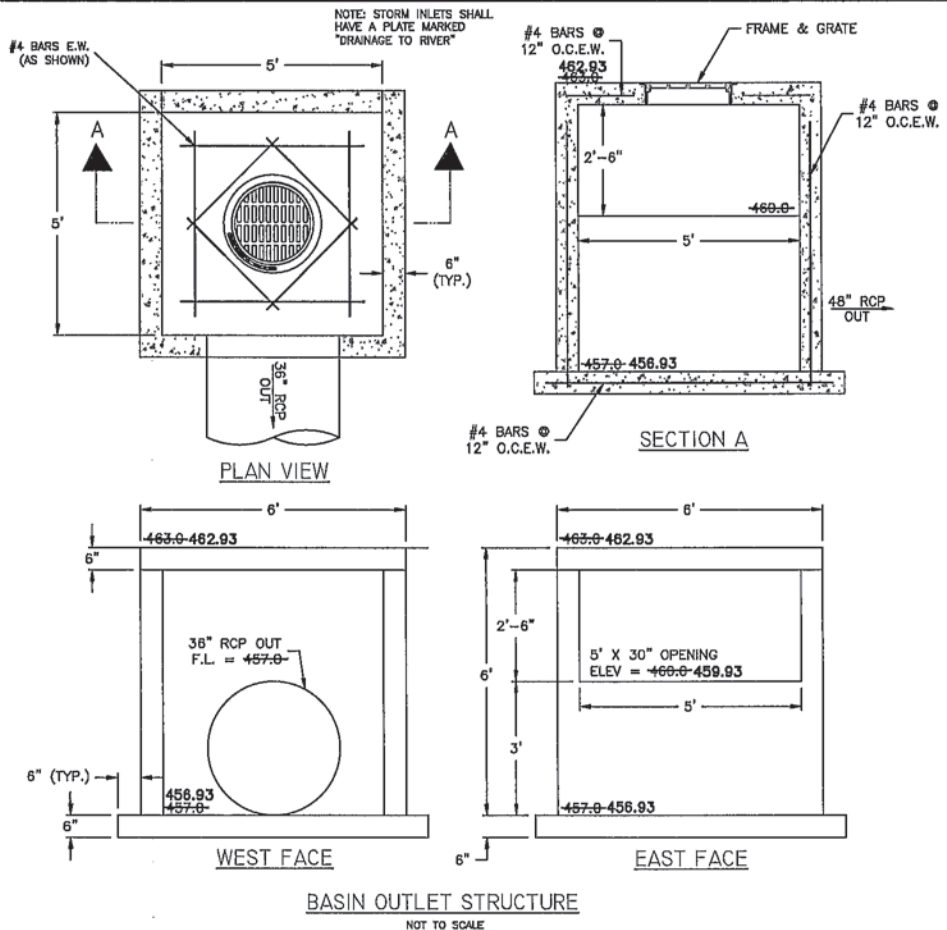
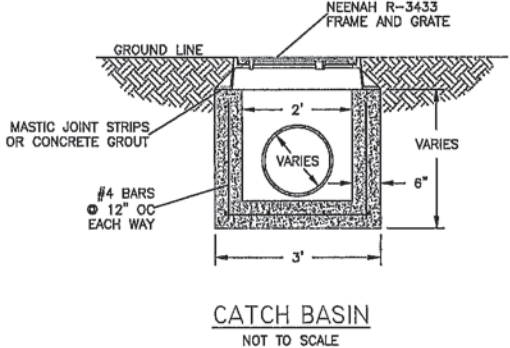
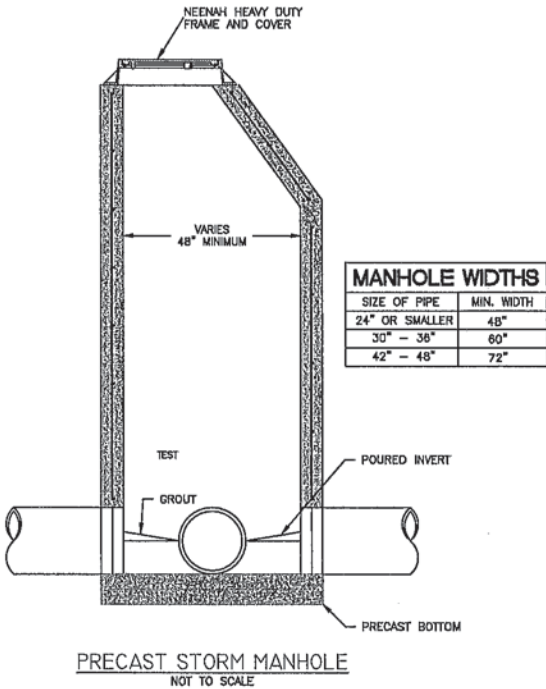
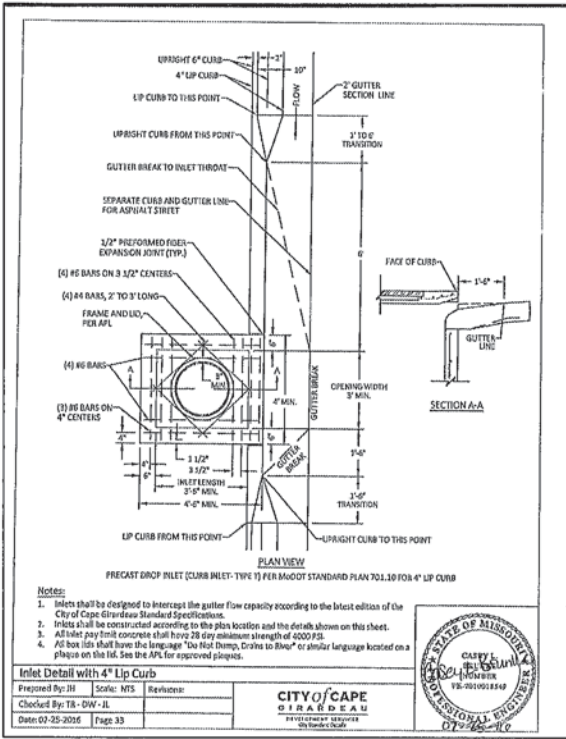
SCALE	As Noted
DATE	2-22-18
DRAWN BY	MTM
JOB NO.	17-056
DRAWING NUMBER	3
CONSECUTIVE NUMBER	3
OF	20



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CIVIL - MECHANICAL - PLUMBING - ELECTRICAL ENGINEERING

RECORD DRAWING
3-25-19



RECORD DRAWING
3-25-19



REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE
1	AS NOTED	5-16-18			
2	REVISION	5-30-18			

IMPROVEMENT PLANS FOR
WILLIAMSBURG PHASE 4

CAPE GIRARDEAU, MISSOURI

STRICKLAND & SENE ENGINEERING

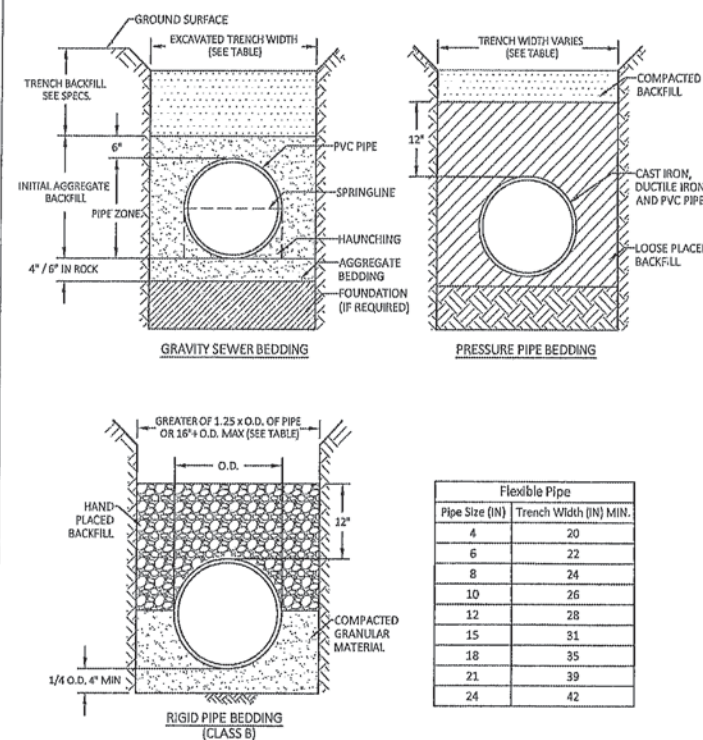
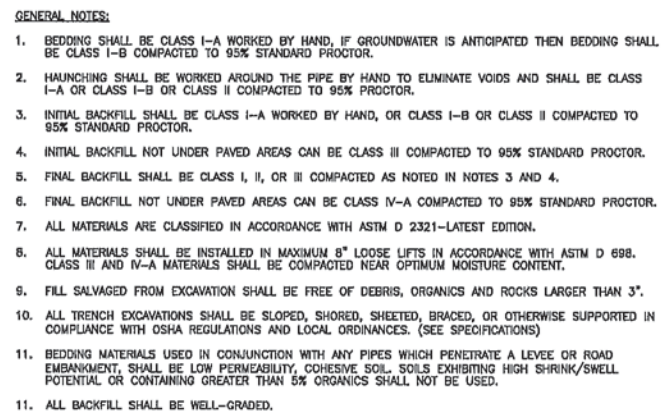
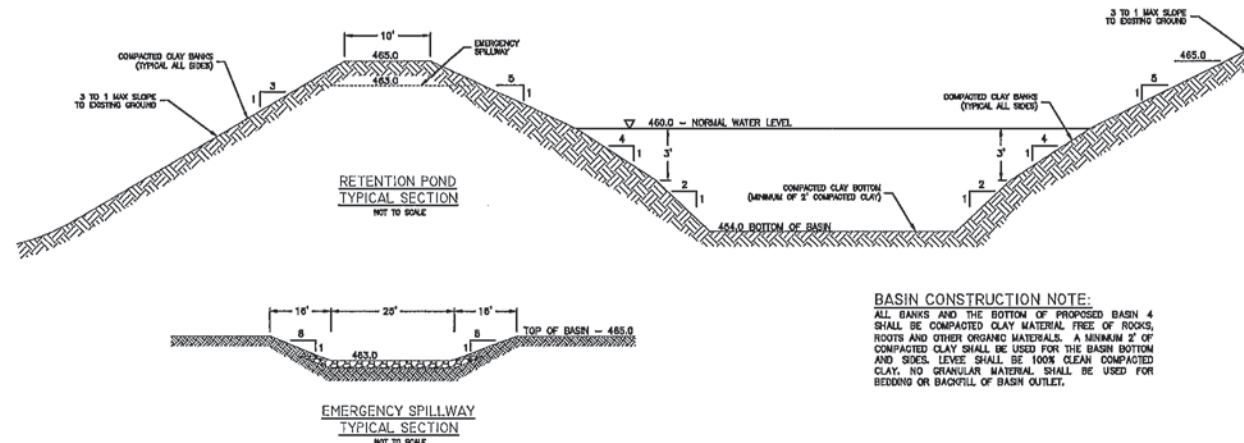
113 WEST MAIN STREET
JACKSON, MISSOURI 65755
TEL: 573-543-4080
FAX: 573-543-2191

CIVIL - MECHANICAL - PLUMBING - ELECTRICAL ENGINEERING
LAND SURVEYING

DRAWING TITLE

STORM
DETAILS

SCALE	As Noted
DATE	2-22-18
DRAWN BY	MTM
JOB No.	17-056
DRAWING NUMBER	4
CONSECUTIVE NUMBER OF	4 20



Flexible Pipe	
Pipe Size (IN)	Trench Width (IN) MIN.
4	20
6	22
8	24
10	26
12	28
15	31
18	35
21	39
24	42

Notes:

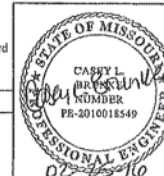
1. All work shall be done in accordance with the latest edition of the City of Cape Girardeau Standard Specifications.
2. See specifications for aggregate, initial backfill, and trench backfill.

Pipe Bedding - Sewer, Pressure, and Rigid Pipe

Prepared By: JH

Scale: NTS	Revisions:
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CITY of CAPE
GIRARDEAU
DEVELOPMENT SERVICES
City Standards/Details



IMPROVEMENT PLANS FOR WILLIAMSBURG PHASE 4

CAPE GIRARDEAU, MISSOURI

DRAWING TITLE

DETENTION BASIN & STORM DETAILS

SCALE As Noted

DATE 2-22-18

DRAWN BY MTM

JOB No. **17-056**

DRAWING NUMBER 5

CONSECUTIVE NUMBER	5
OF	20

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MAINTENANCE REQUIREMENTS:

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR UNTIL FINAL STABILIZATION IS ACHIEVED ON THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
2. ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
3. SILT FENCES, TREE PROTECTION, AND EROSION EELS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREAS SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS, SILT FENCES AND OTHER SEDIMENT CONTROLS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
7. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEARED OF DEBRIS AND/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEARED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

EROSION CONTROL SCHEDULE

THE LAND DISTURBANCE ACTIVITIES FOR THIS PROJECT WILL OCCUR IN THE FOLLOWING ORDER:

1. ESTABLISH CONSTRUCTION ENTRANCE AND INSTALL SILT FENCES AND TREE PROTECTION.
2. PREPARE CONTRACTOR PARKING & STAGING AREA.
3. CLEAR BRUSH AND STRIPPING AND STOCKPILING TOPSOIL.
4. OVERALL SITE GRADING.
5. TEMPORARY SEEDING.
6. SANITARY SEWER CONSTRUCTION.
7. INSTALL STORM SEWER WITH INLET FILTERS AS SOON AS POSSIBLE, EXCAVATION FOR OTHER GENERAL UTILITIES.
8. CONSTRUCT WATER MAIN.
9. CONSTRUCT STREETS.
10. SPREAD 4" OF TOPSOIL ON SURFACE OF VEGETATIVE AREA & IMMEDIATELY SEED OR SOO, ROLL, FERTILIZE AND WATER.
11. ESTABLISH CONCRETE WASHOUT AREA.

MAINTENANCE NOTES

ALL STORMWATER INFRASTRUCTURE SHALL BE MAINTAINED BY THE CONTRACTOR/OWNER UNTIL THE MAINTENANCE RESPONSIBILITY IS ASSUMED BY OTHER THE CITY OF CAPE GIRARDEAU (INFRASTRUCTURE WITHIN THE RIGHT-OF-WAY ONLY) OR THE HOMEOWNERS ASSOCIATION FOR THE ASSOCIATION'S COVENANTS (ALL OTHER INFRASTRUCTURE).

DETENTION BASIN 4 SHALL BE MAINTAINED BY THE OWNER UNTIL MAINTENANCE RESPONSIBILITY IS ASSUMED BY THE HOMEOWNERS ASSOCIATION FOR THE ASSOCIATION'S COVENANTS.

ALL MAINTENANCE OF EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ACCEPTABLE VEGETATION IS ESTABLISHED.

FLOODPLAIN NOTE

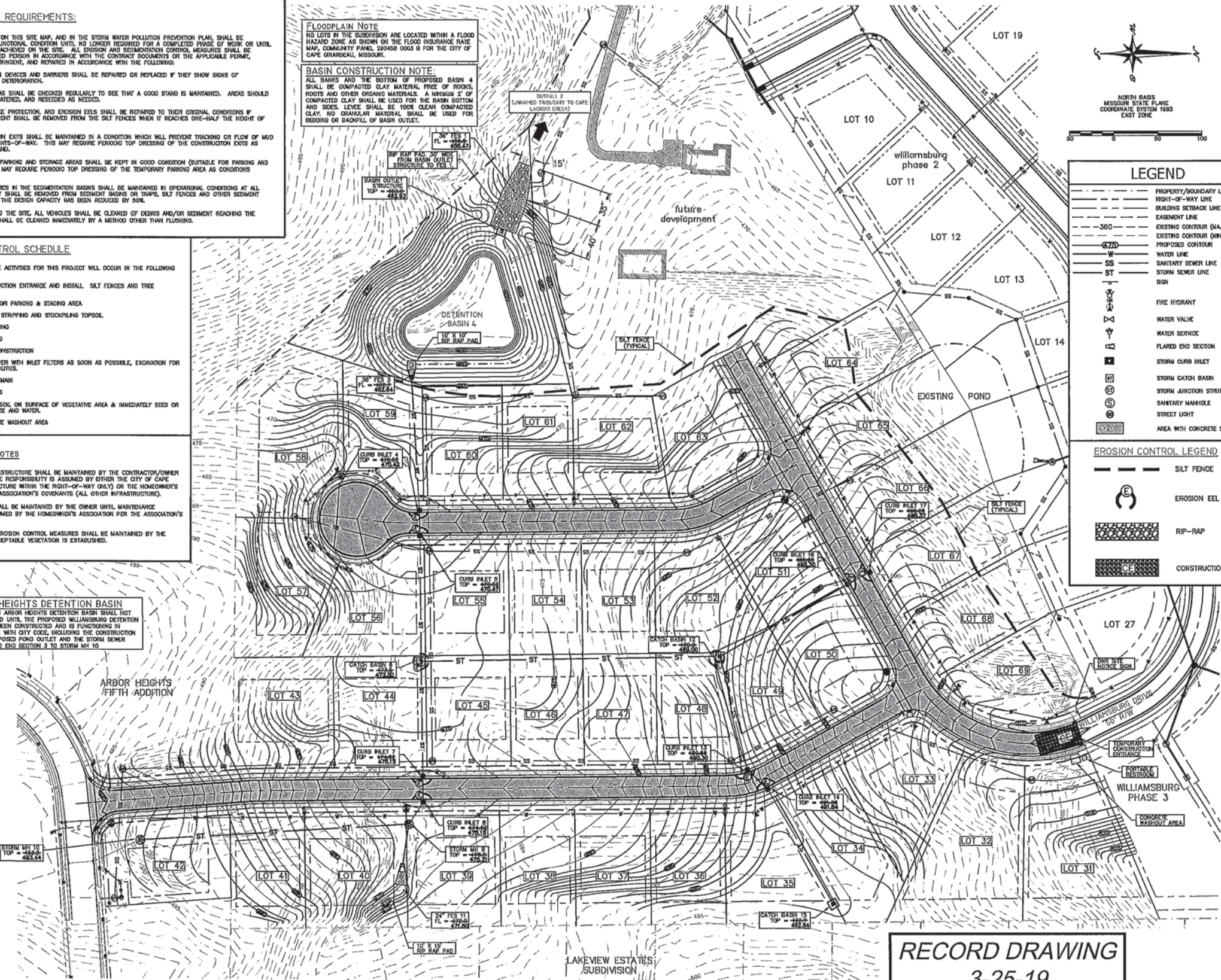
NO LOTS IN THE SUBDIVISION ARE LOCATED WITHIN A FLOOD HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 28045B 0003 B FOR THE CITY OF CAPE GIRARDEAU, MISSOURI.

BASIN CONSTRUCTION NOTE

ALL BANKS AND THE BOTTOM OF PROPOSED BASIN 4 SHALL BE COMPACTED CLAY MATERIAL FREE OF ROCKS, ROOTS AND OTHER ORGANIC MATERIALS. A MINIMUM 2" OF COMPACTED CLAY SHALL BE USED FOR THE BASIN BOTTOM AND SIDES. LEVEE SHALL BE 100% CLEAN COMPACTED CLAY. NO GRANULAR MATERIAL SHALL BE USED FOR BEDDING OR BACKFILL OF BASIN OUTLET.

ARBOR HEIGHTS DETENTION BASIN

THE EXISTING ARBOR HEIGHTS DETENTION BASIN SHALL NOT BE DISTURBED UNTIL THE PROPOSED WILLIAMSBURG DETENTION BASIN HAS BEEN CONSTRUCTED AND IS FUNCTIONING IN ACCORDANCE WITH CITY CODE, INCLUDING THE CONSTRUCTION OF THE PROPOSED POND OUTLET AND THE STORM SEWER FROM FLARED END SECTION 3 TO STORM MH 10.



RECORD DRAWING
3-25-19



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**IMPROVEMENT PLANS FOR
WILLIAMSBURG PHASE 4**
CAPE GIRARDEAU, MISSOURI

**STRICKLAND
ENGINEERING**
115 WEST MAIN STREET
JACKSON, MISSOURI 63755
TEL: 573-542-4080
FAX: 573-542-5191

DRAWING TITLE

**GRADING AND
EROSION
CONTROL PLAN**

SCALE As Noted

DATE 2-22-18

DRAWN BY MTM

JOB No. 17-056

DRAWING
NUMBER

6

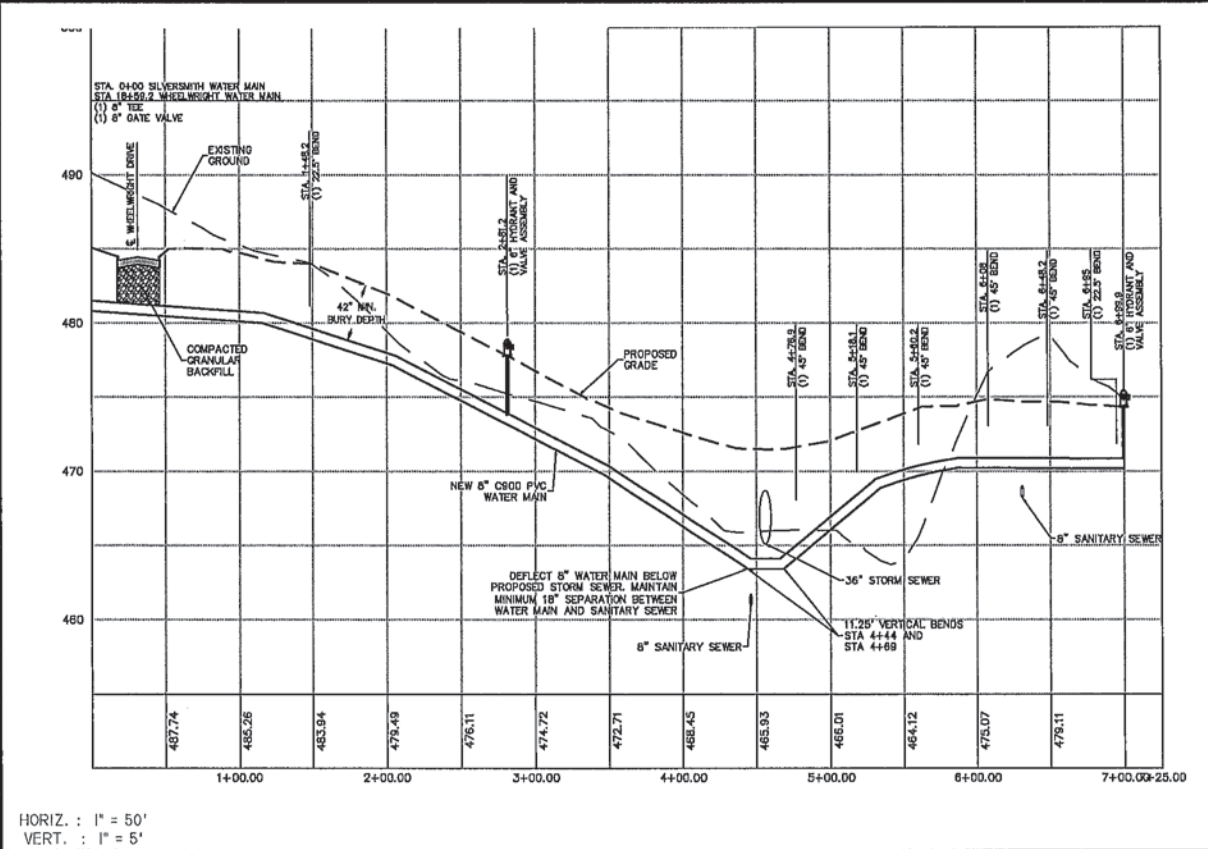
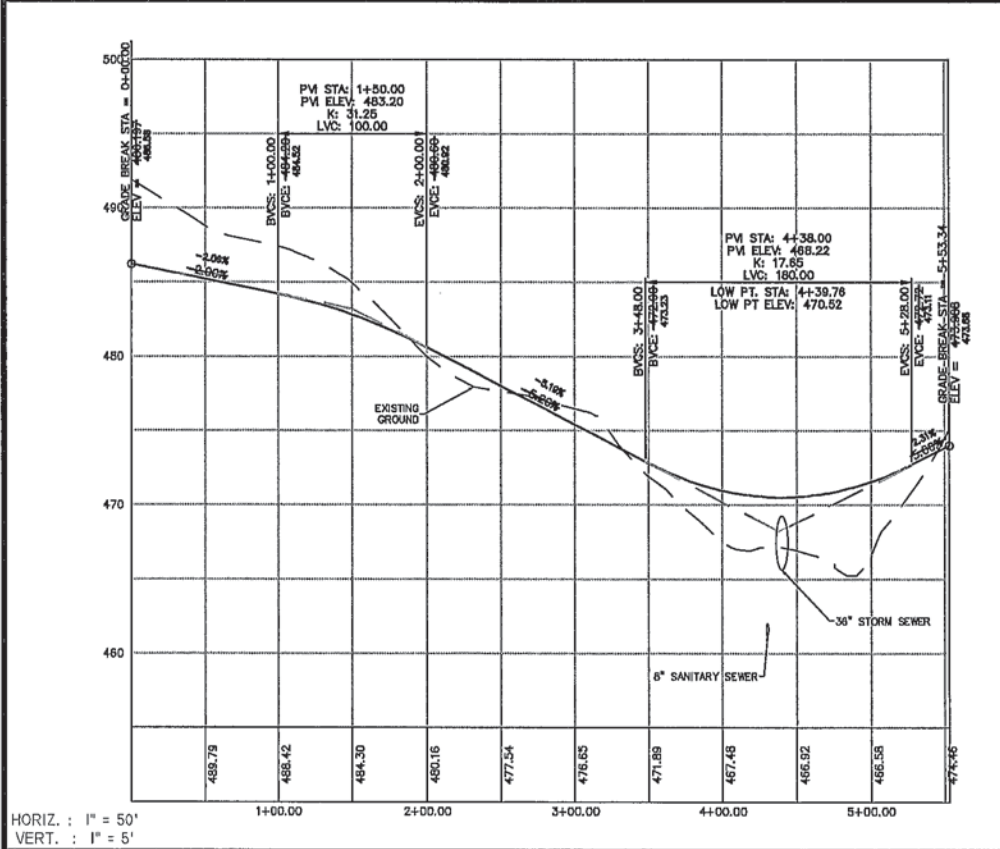
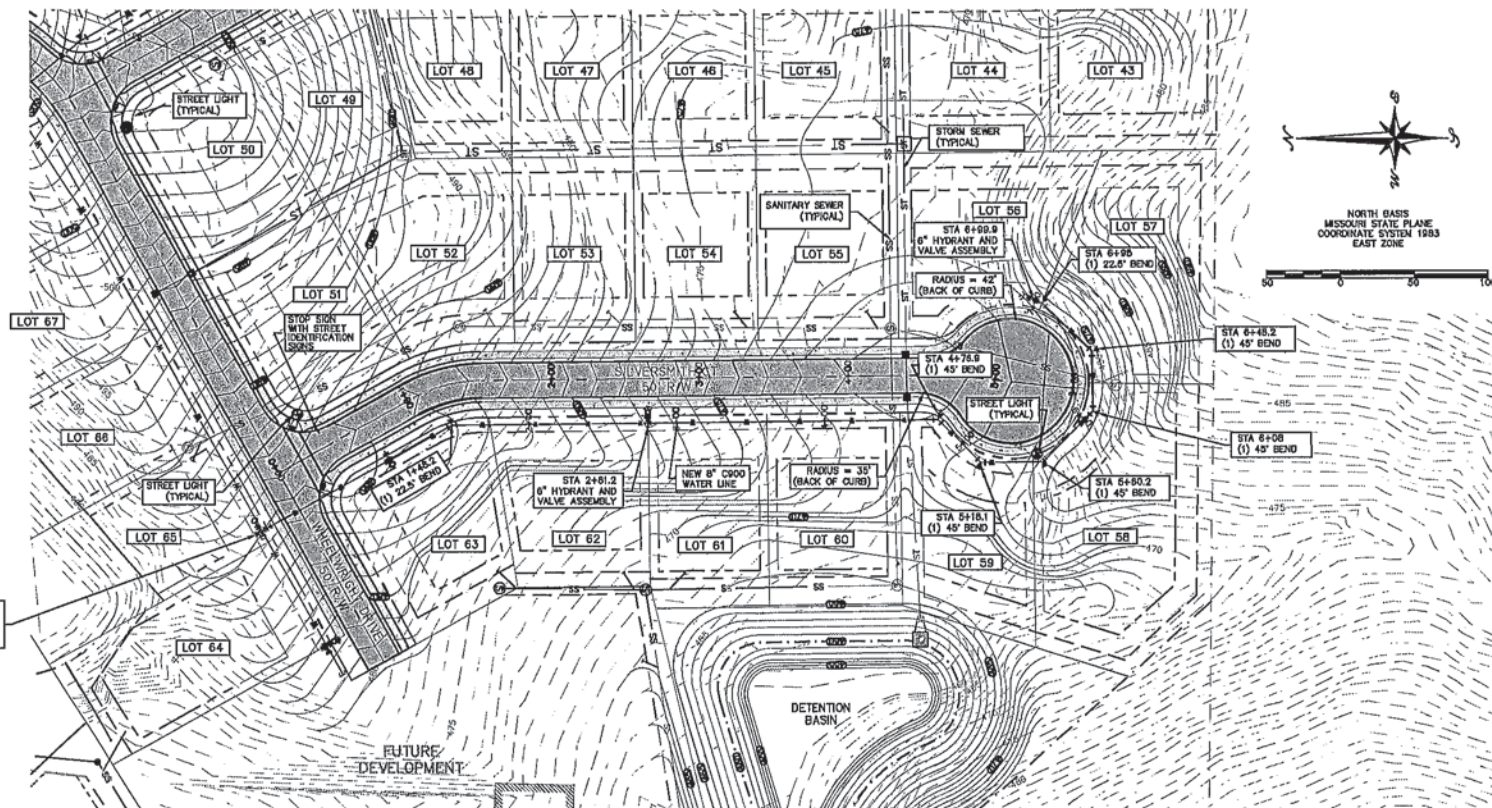
CONSECUTIVE NUMBER
OF 20

RECORD DRAWING 3-25-19

STREET LIGHTS
STREET LIGHTS TO BE AMEREN STANDARD
CONTEMPORARY POST TOP FIXTURE ON
FORGLASS POLE TO MATCH LIGHTS INSTALLED
IN PREVIOUS PHASES. STREET LIGHTS TO BE
INSTALLED BY AMEREN.

SIDEWALKS
SIDEWALKS ARE ESCROWED PER ESCROW AGREEMENT
WILLIAMSBURG PHASE 4, JANUARY 23, 2016 DOCUMENT.

LEGEND	
---	PROPERTY/BOUNDARY LINE
---	RIGHT-OF-WAY LINE
---	BUILDING SETBACK LINE
---	EASEMENT LINE
---	EXISTING CONTOUR (MAJOR)
---	EXISTING CONTOUR (MINOR)
---	PROPOSED CONTOUR
---	WATER LINE
---	SANITARY SEWER LINE
---	STORM SEWER LINE
---	SIGN
---	FIRE HYDRANT
---	WATER VALVE
---	WATER SERVICE
---	FLARED END SECTION
---	STORM CURB INLET
---	STORM CATCH BASIN
---	STORM JUNCTION STRUCTURE
---	SANITARY MANHOLE
---	STREET LIGHT
---	AREA WITH CONCRETE SURFACE



REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	3-18-18			
2	ISSUED FOR CONSTRUCTION	5-29-18			

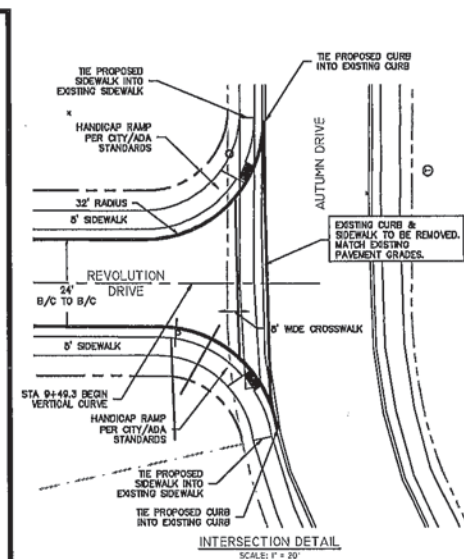
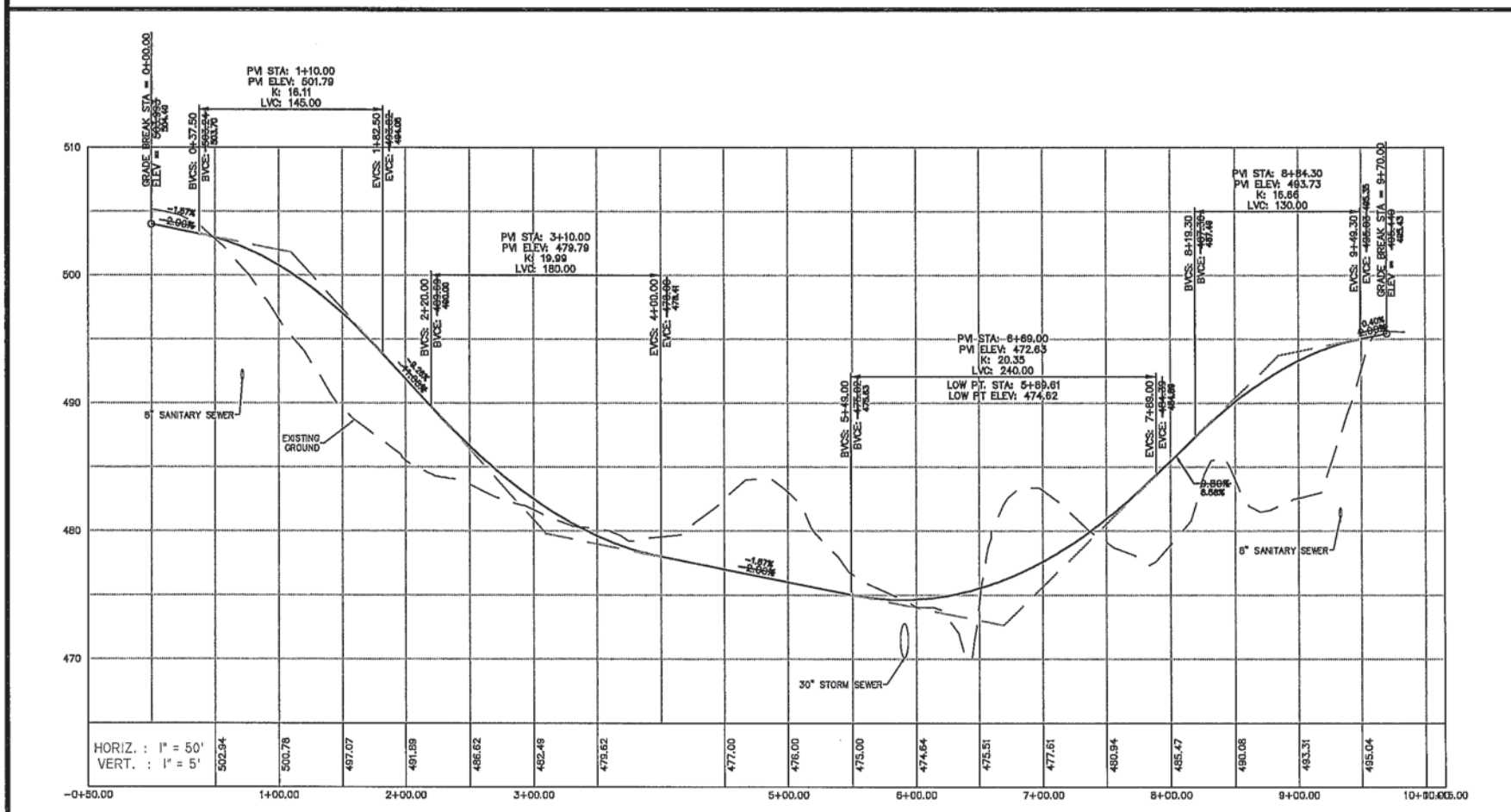
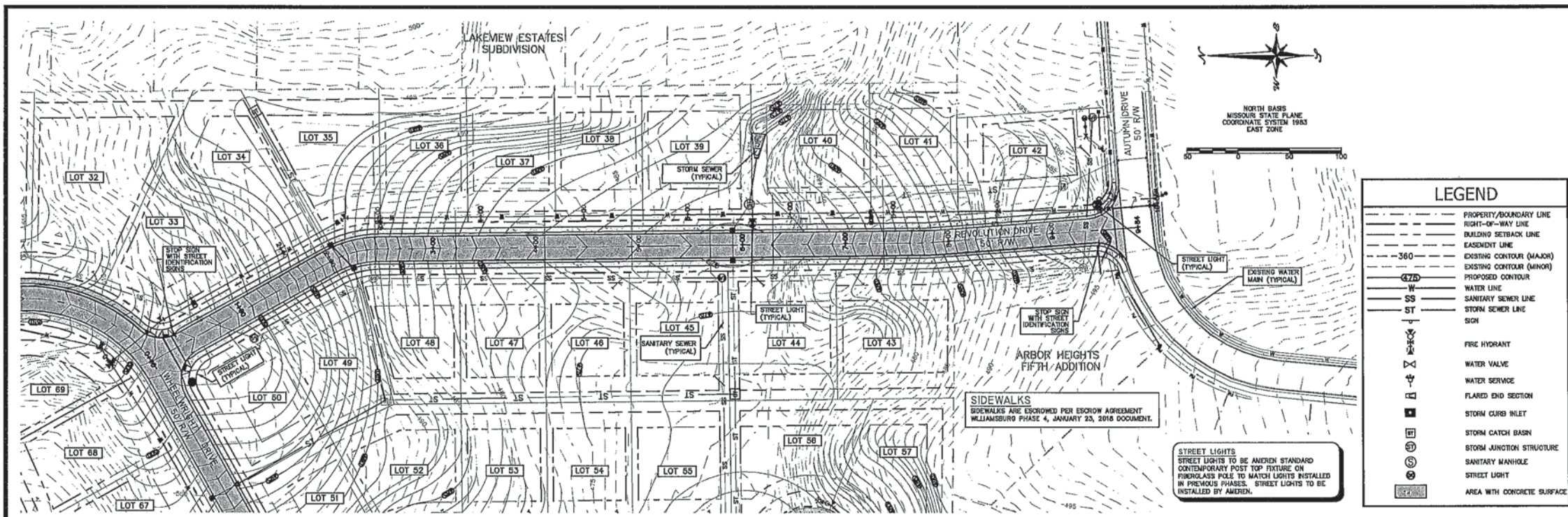
IMPROVEMENT PLANS FOR WILLIAMSBURG PHASE 4

CAPE GIRARDEAU, MISSOURI
STRICKLAND
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CIVIL - MECHANICAL - PLUMBING - ELECTRICAL ENGINEERING
LAND SURVEYING
115 WEST MAIN STREET
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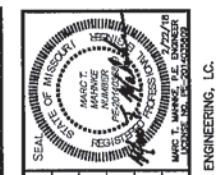
DRAWING TITLE SILVERSMITH CT STREET & WATERLINE PLAN & PROFILE

SCALE As Noted
DATE 2-22-18
DRAWN BY MTM
JOB No. 17-056
DRAWING NUMBER
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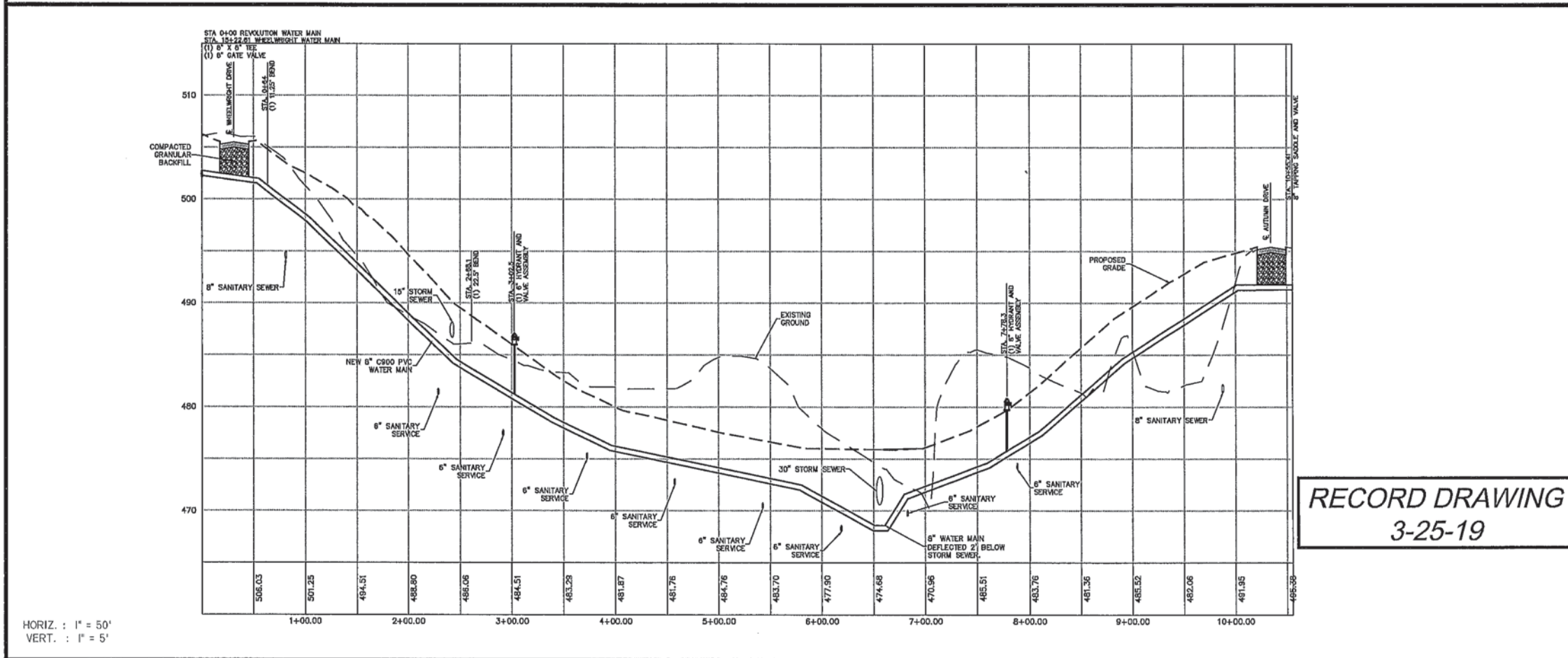
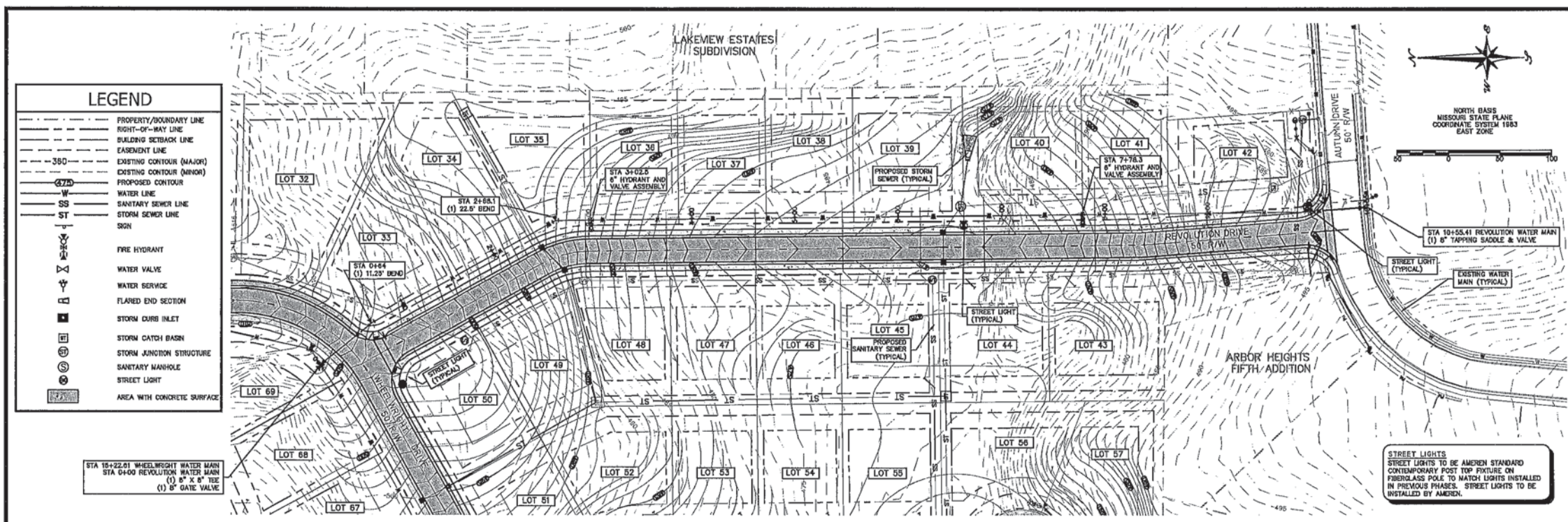
IMPROVEMENT PLANS FOR WILLIAMSBURG PHASE 4
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CIVIL - MECHANICAL - PLUMBING - ELECTRICAL ENGINEERING
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DRAWING TITLE
REVOLUTION DR STREET PLAN & PROFILE

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IMPROVEMENT PLANS FOR WILLIAMSBURG PHASE 4

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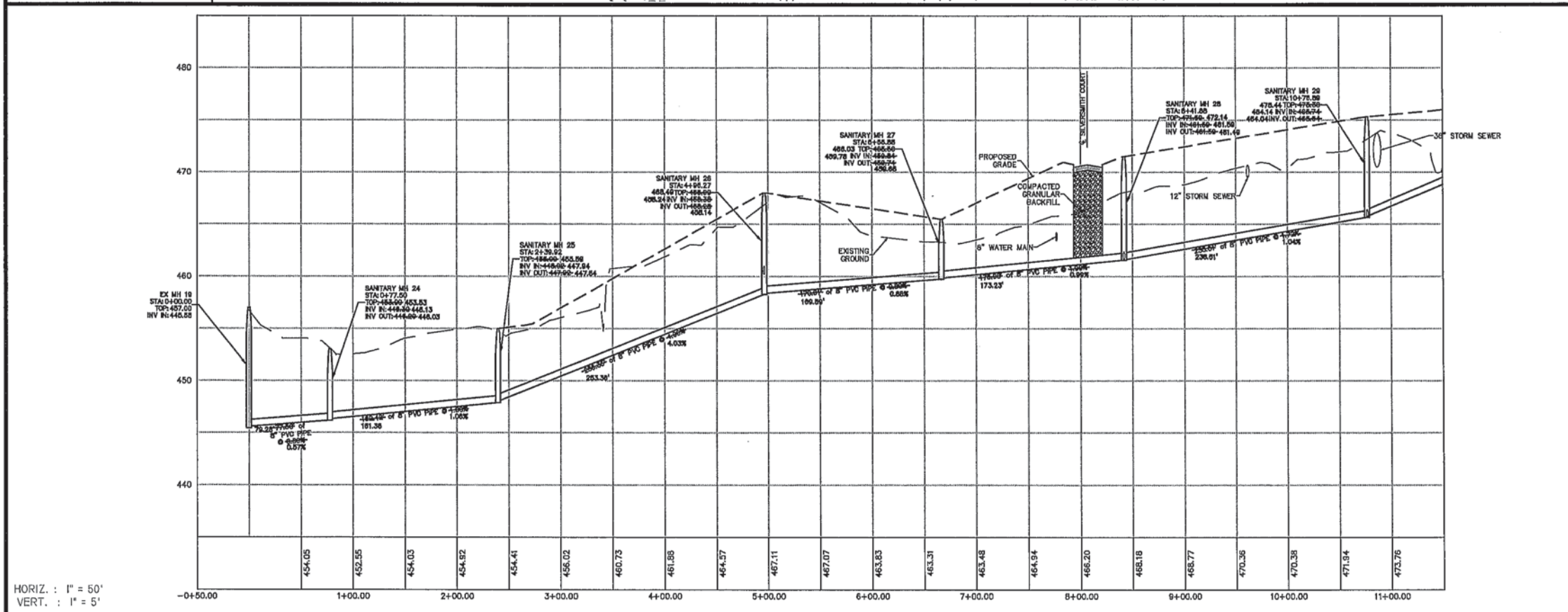
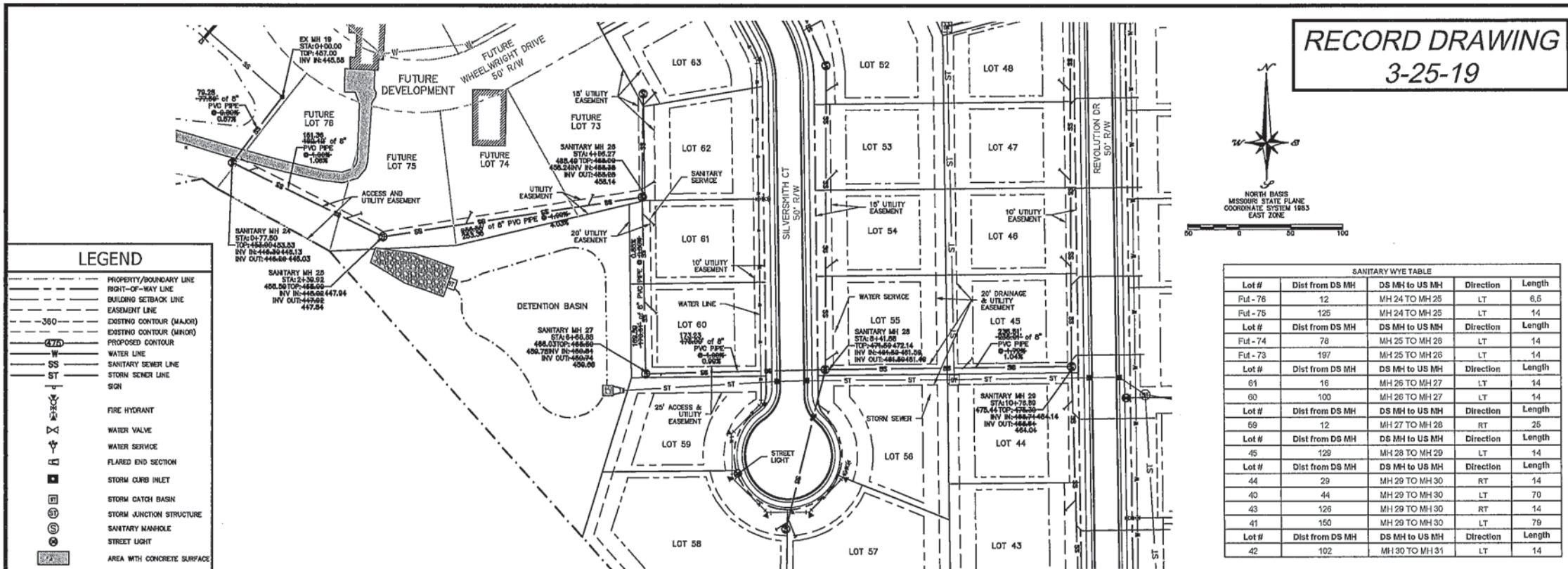
113 WEST MAIN STREET
JACKSON, MISSOURI 63755
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DRAWING TITLE

REVOLUTION DR WATERLINE PLAN & PROFILE

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SEAL OF MISSOURI
STATE ENGINEER
JACOB T. STRICKLAND
MARCH 2, 2019
MISSOURI
JACOB T. STRICKLAND
JANUARY 1, 2019

**IMPROVEMENT PLANS FOR
WILLIAMSBURG PHASE 4**
CAPE GIRARDEAU, MISSOURI

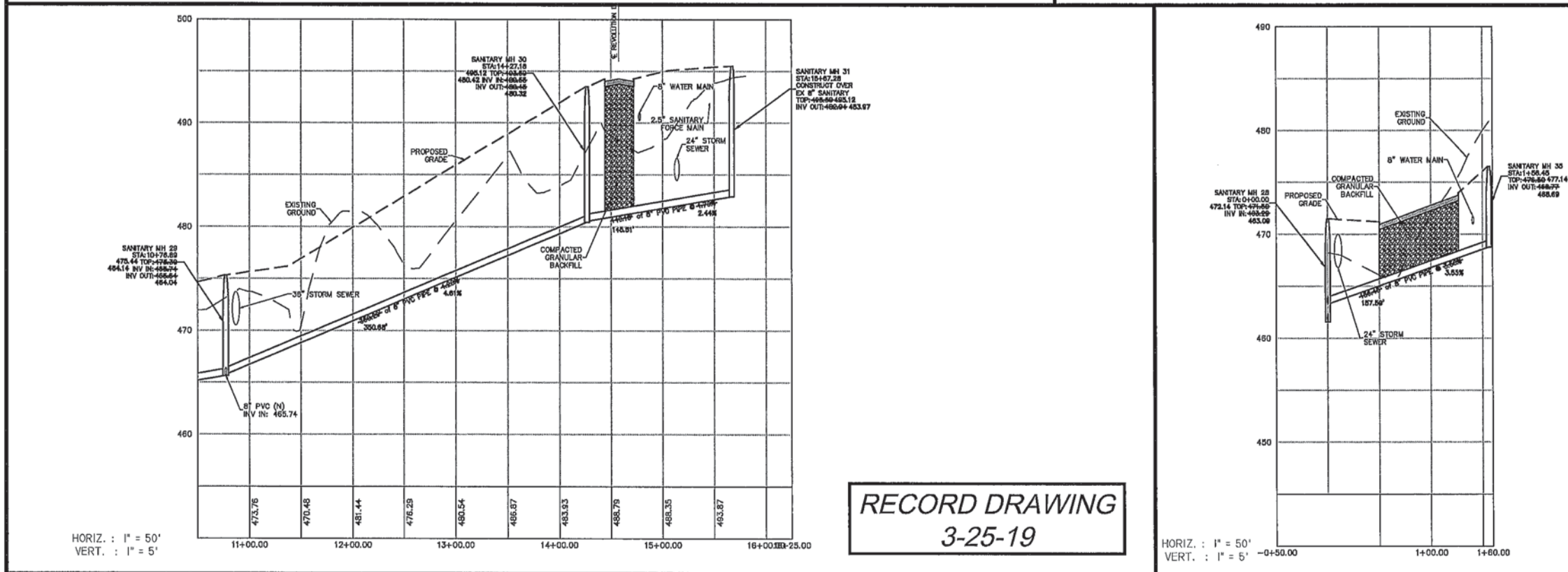
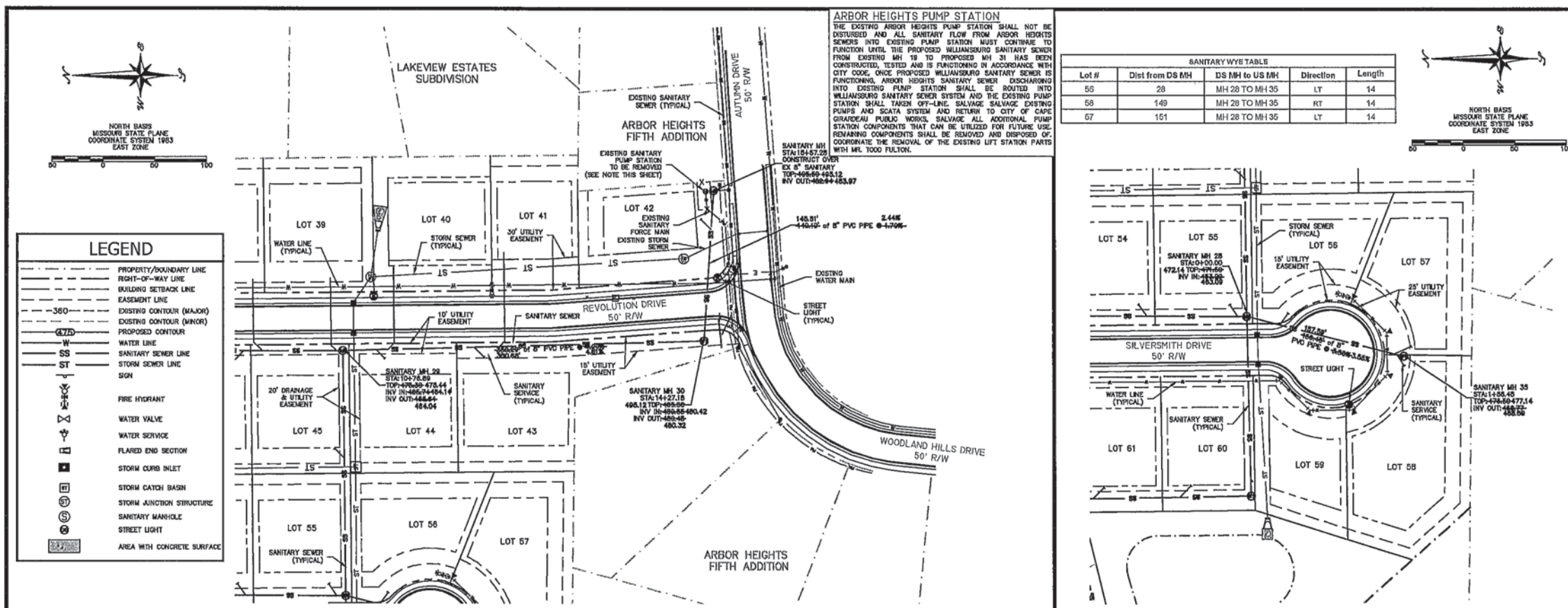
**STRICKLAND
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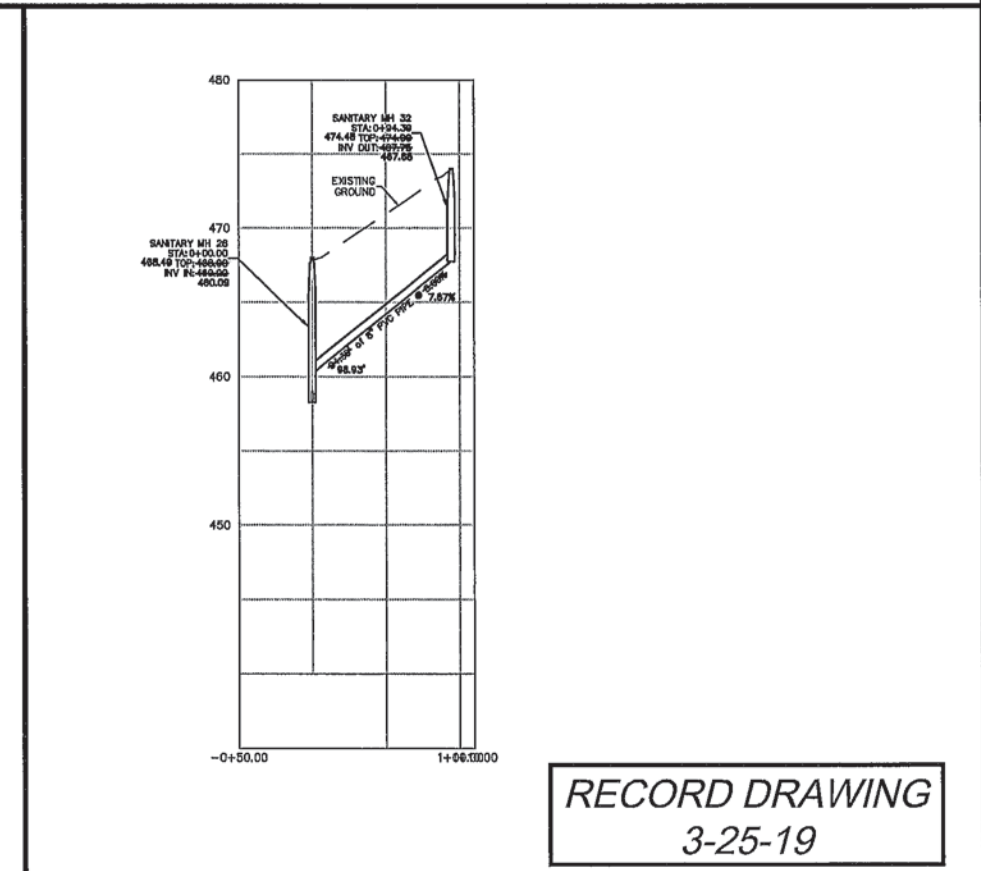
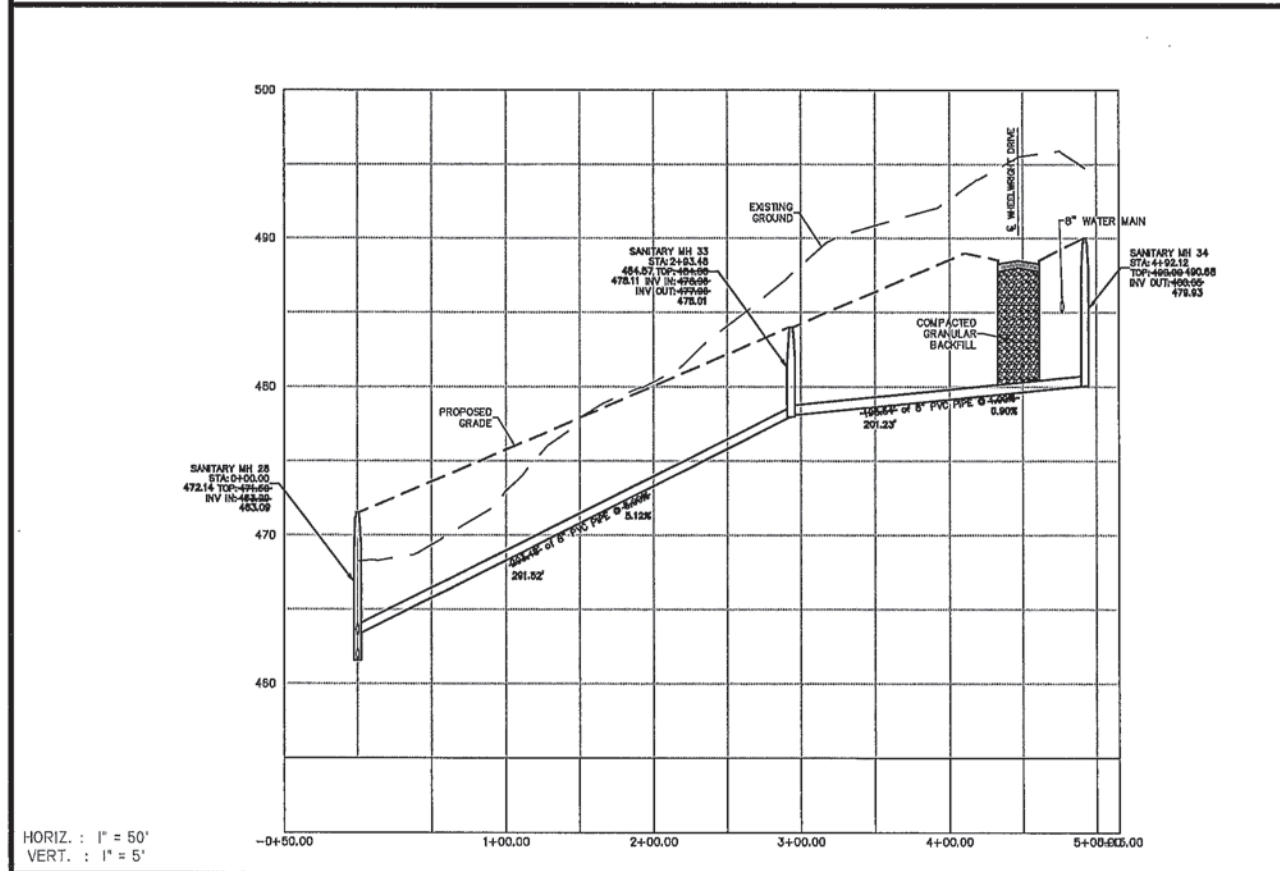
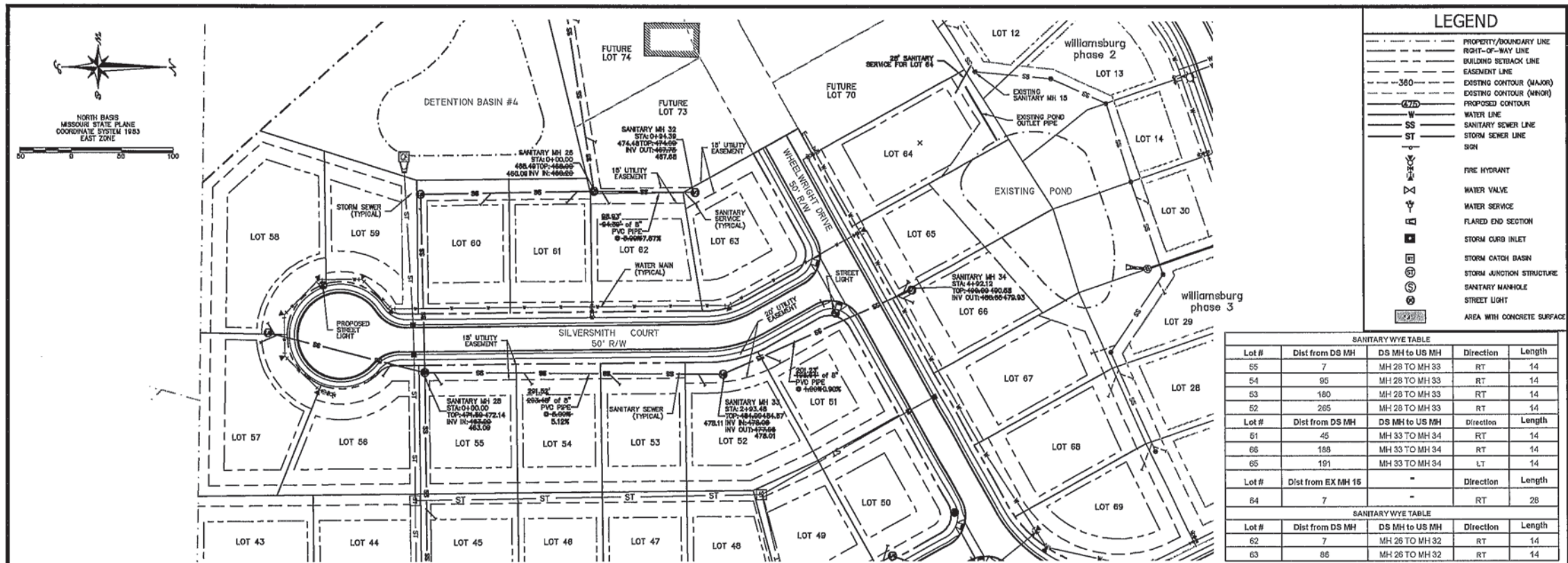
CIVIL - MECHANICAL - PLUMBING - ELECTRICAL ENGINEERING
LAND SURVEYING

DRAWING TITLE
**SANITARY
EX MH 19 -
MH 29
PLAN & PROFILE**

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DATE: 2-22-18
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CONSECUTIVE NUMBER OF: 11 OF 20

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IMPROVEMENT PLANS FOR WILLIAMSBURG PHASE 4

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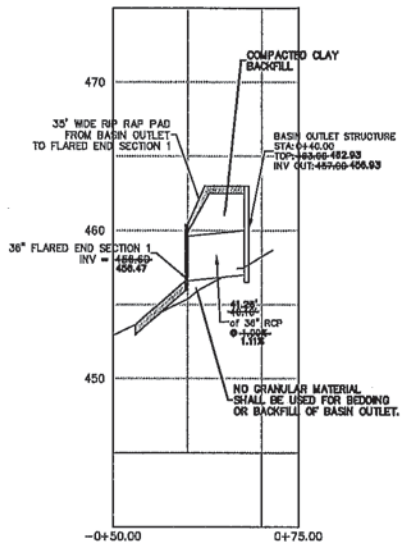
CIVIL - MECHANICAL - PLUMBING - ELECTRICAL ENGINEERING
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DRAWING TITLE
SANITARY
MH 28 - MH 34
MH 26 - MH 32
PLAN & PROFILE

SCALE: As Noted
DATE: 2-22-18
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JOB No.: 17-056
DRAWING NUMBER: 13
CONSECUTIVE NUMBER OF: 13 OF 20

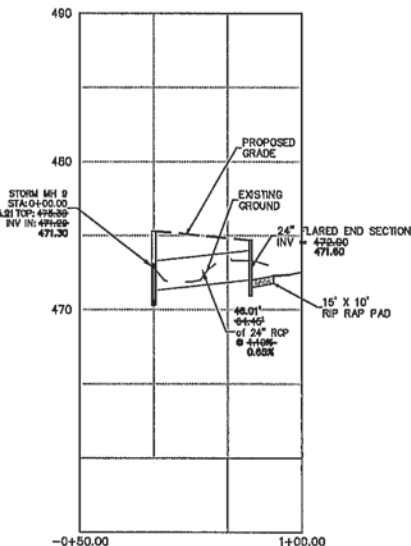
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FES I - BASIN OUTLET



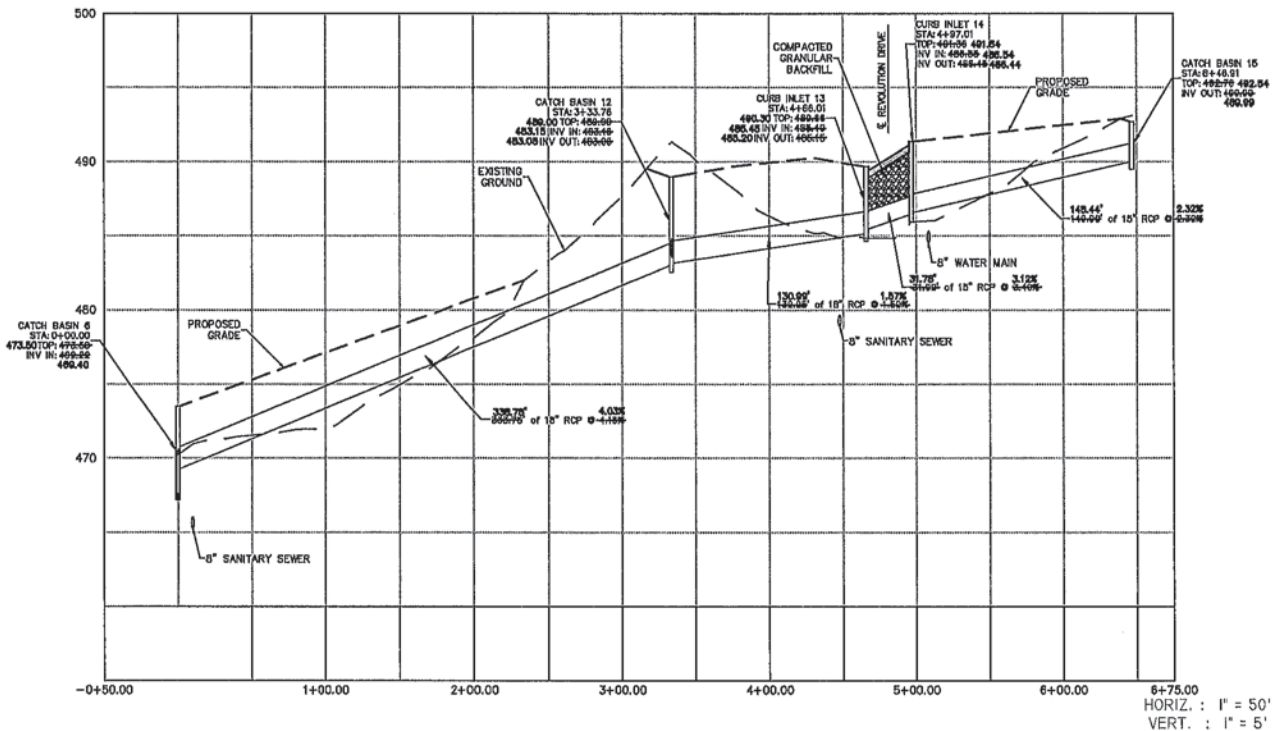
HORIZ. : 1" = 50'
VERT. : 1" = 5'

STORM MH 9 - FES II



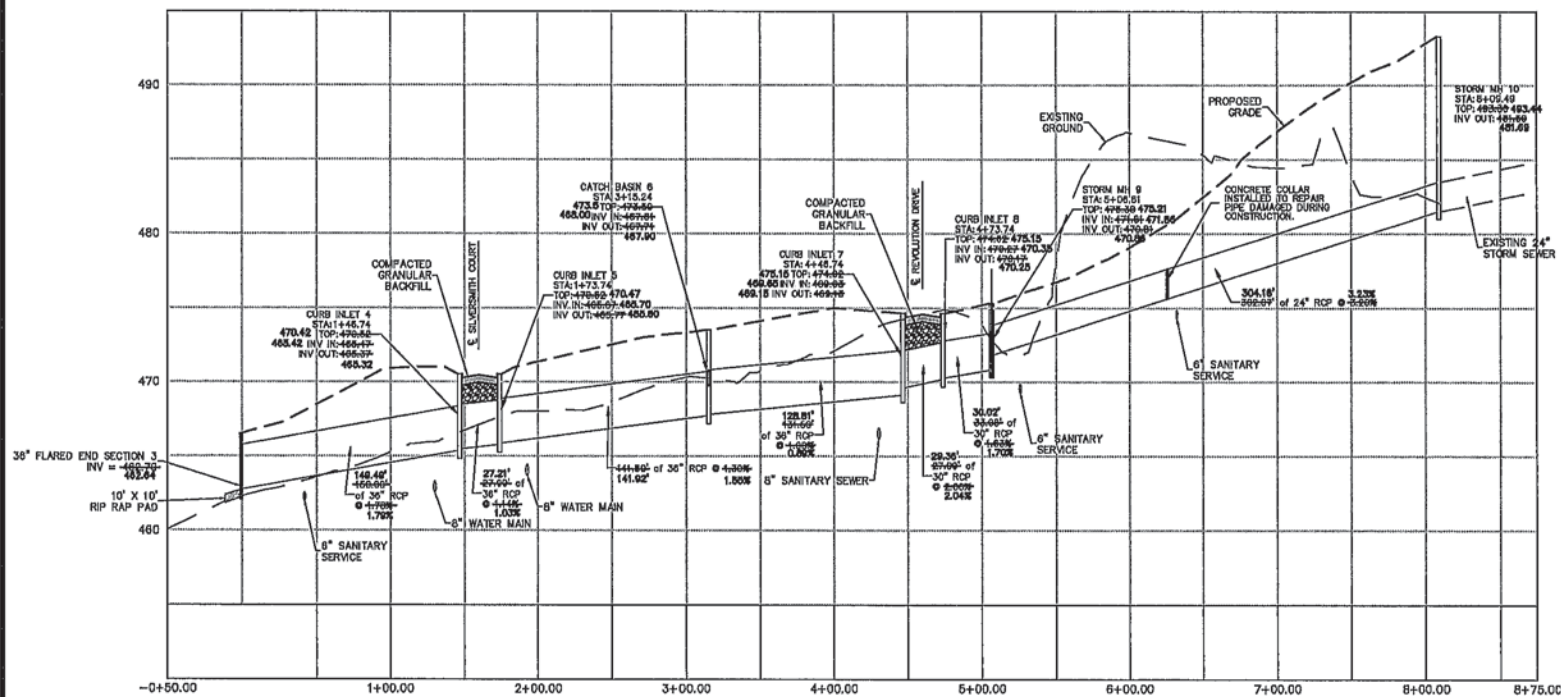
HORIZ. : 1" = 50'
VERT. : 1" = 5'

STORM CB 6 - CB 15



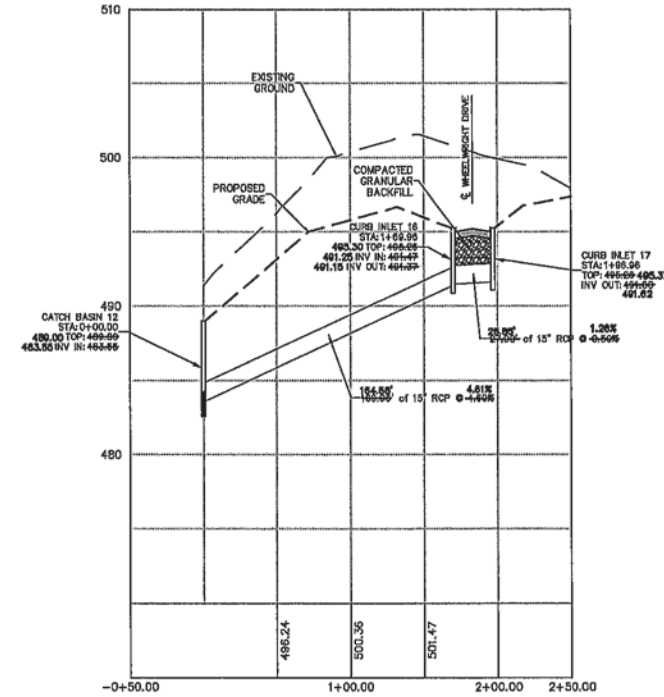
HORIZ. : 1" = 50'
VERT. : 1" = 5'

STORM CB 3 - MH 10



HORIZ. : 1" = 50'
VERT. : 1" = 5'

CATCH BASIN 12 - CI 17



HORIZ. : 1" = 50'
VERT. : 1" = 5'

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3-25-19



REV	DESCRIPTION	DATE	BY	CHKD
1	ISSUED FOR PERMIT	5-16-18		
2	REVISION	5-23-18		

IMPROVEMENT PLANS FOR WILLIAMSBURG PHASE 4

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DRAWING TITLE

STORM PROFILES

SCALE	As Noted
DATE	2-22-18
DRAWN BY	MTM
JOB NO.	17-056
DRAWING NUMBER	15
CONSECUTIVE NUMBER OF	15 OF 20

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CONSTRUCTION SITE BEST MANAGEMENT PRACTICES

THE FOLLOWING BMP'S MUST BE PROPERLY USED AT ALL CONSTRUCTION SITES IN THE CITY TO PROTECT STORM DRAINS AND MINIMIZE POLLUTION

CITY CODE PROHIBITS POLLUTANT DISCHARGES AT WORK SITES FROM FLOWING INTO STORM DRAINS AND POLLUTING STREAMS. TO STAY IN COMPLIANCE WITH THE LAW AND KEEP YOUR PROJECT ON SCHEDULE, MAKE SURE BMP'S ARE IN PLACE AND FUNCTIONING. SITES MUST BE CHECKED AND MAINTAINED DAILY. BELOW ARE GENERAL GUIDELINES ON MAINTAINING A CLEAN CONSTRUCTION SITE.

PAINT AND STUCCO

ALL PAINT AND STUCCO MATERIALS STORED ON THE SITE MUST BE CONTAINED AND COVERED. IT IS ILLEGAL TO DUMP UNUSED PAINT OR STUCCO IN THE SEWER OR STORM DRAIN SYSTEM. DO NOT WASH OUT PAINT BRUSHES IN THE STREET OR DUMP ANY RESIDUE IN THE STORM DRAIN. PAINTBRUSHES AND SPRAY GUNS MUST BE WASHED/CLEANED OUT INTO A HAZARDOUS MATERIALS DRAIN OR BACK INTO THE ORIGINAL CONTAINER AND DISPOSED OF PROPERLY.

PERIMETER CONTROLS

GRAVEL BAGS, SILT FENCES AND STRAW BATTLES (WEIGHTED DOWN) ARE ACCEPTABLE PERIMETER CONTROLS. IT IS RECOMMENDED THAT THESE CONTROLS ARE USED TO SURROUND THE ENTIRE SITE. WOOD RUNNING OVER PERIMETER CONTROLS WITH VEHICLES OR HEAVY EQUIPMENT AS THEY CAN DAMAGE THE MATERIALS. KEEP EXTRA ADSORBENT MATERIAL AND/OR A WET-DRY VACUUM ON SITE TO QUICKLY PICK UP UNWANTED SPILLS.

BUILDING MATERIALS/STAGING AREAS

CONSTRUCTION MATERIALS MUST BE STORED ON SITE AT ALL TIMES. BUILDING MATERIALS SHOULD ALWAYS BE COVERED WHEN NOT IN USE TO PREVENT RUNOFF CAUSED BY WIND OR RAIN. FLOODING MUST ALSO BE PREVENTED BY MONITORING YOUR SITE BEFORE, DURING AND AFTER RAIN EVENTS TO ENSURE THAT BMP'S ARE FUNCTIONING AND THAT THERE ARE NO ANY SAFETY ISSUES.

LIMIT LAND DISTURBANCE

PRESERVE AS MUCH GRASSED AREA AS POSSIBLE. NOT ONLY DOES IT IMPROVE THE APPEARANCE OF YOUR SITE, IT ALSO FILTERS MUCH OF THE SEDIMENT FROM STORMWATER RUNOFF BEFORE IT REACHES THE DRAINAGE SYSTEM.

SINGLE GRAVEL ENTRANCE/EXIT

RESTRICT VEHICLE ACCESS TO ONE ENTRY/EXIT POINT WHERE POSSIBLE. ADDING GRAVEL TO A SINGLE SITE ACCESS LOCATION WILL REDUCE THE AMOUNT OF SOIL CARRIED OFF THE SITE BY VEHICLES.

DUMPSTERS

ALWAYS COVER DUMPSTERS WITH A ROLLBACK TARP. AREAS AROUND DUMPSTERS SHOULD BE SWEEP DAILY. PERIMETER CONTROLS AROUND DUMPSTER AREA SHOULD BE PROVIDED IF POLLUTANTS ARE LEAKING OR DISCHARGING FROM THE DUMPSTER.

THE STORMWATER MANAGEMENT PROGRAM WAS ESTABLISHED TO ENSURE THAT THE PROJECT COMPLIES WITH FEDERAL, STATE AND LOCAL CLEAN WATER REGULATIONS. FIELD INSPECTORS, ENGINEERS AND CONTRACTORS WORK TOGETHER TO ENSURE CONSTRUCTION SITES ARE IN COMPLIANCE WITH THESE LAWS.

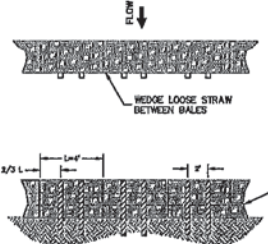
CLEAN CONSTRUCTION DETAIL:

BELOW ARE SOME GENERAL GUIDELINES TO MAINTAIN A CLEAN CONSTRUCTION SITE:

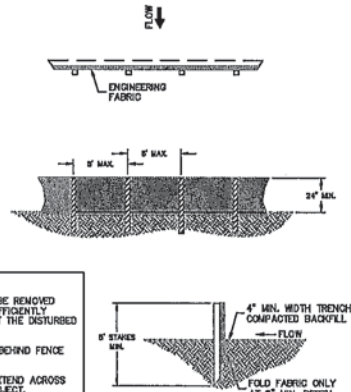
PREVENT POLLUTION AND AVOID FINES

- DO NOT ALLOW CONCRETE, PAINTS, CHEMICALS, SEDIMENT, YARD DEBRIS, ETC. TO ENTER THE GUTTERS OR STORM DRAINS. STORE THESE PRODUCTS OUT OF THE RAIN SO THEY WILL STAY DRY.
- ESTABLISH AND USE AN ADEQUATELY SIZED CONCRETE WASHOUT AREA TO CONTAIN ALL LIQUIDS ON SITE.
- PROVIDE EROSION AND SEDIMENT CONTROL TO PREVENT THESE POLLUTANTS FROM LEAVING THE SITE.
- PROVIDE STABILIZED ENTRANCE AND EXIT FOR VEHICLES TO PREVENT TRACKING DIRT OFF SITE.
- SWEEP-UP SURFACE AREAS REGULARLY AND PLACE WASTE IN A COVERED DUMPSTER. DON'T USE HOSE WATER TO CLEAN.
- STORE MATERIALS IN A SECURE PLACE TO PREVENT SEEPAGE AND SPILLAGE. PROPERLY DISPOSE OF ALL MATERIALS. DO NOT DUMP UNUSED OR WASTE PRODUCTS ON THE GROUND, WHERE WATER CAN CARRY THEM TO THE STORM DRAINS.
- WHEN WASHING EQUIPMENT ON SITE, PREVENT WASTEWATER FROM ENTERING THE STORM DRAINS. DO NOT LET THE WATER LEAVE THE SITE.

STRAW BALE FENCE

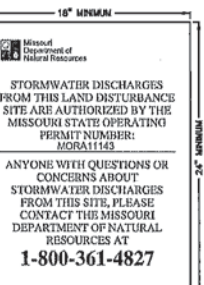


ENGINEERING FABRIC FENCE



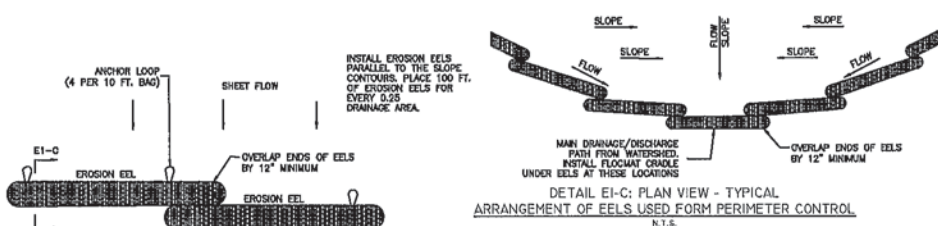
NOTES:

1. SILT FENCES MAY BE REMOVED WHEN GRASS HAS SUFFICIENTLY MATURED TO PROTECT THE DISTURBED AREA.
2. CLEAN SILT FROM BEHIND FENCE AFTER EACH RAIN.
3. FENCES ARE TO EXTEND ACROSS ENTIRE SLOPE OF PROJECT.
4. AREAS UNDER FENCES SHALL BE SEIZED IMMEDIATELY AFTER REMOVAL OF FENCE.



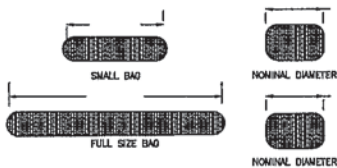
1. SIGN TO BE SECURELY MOUNTED, PROTECTED FROM INCIDENT WEATHER AND VISIBLE TO PUBLIC AT ALL TIMES.
2. SIGN SHALL BE LOCATED AS INDICATED ON THE GRADING & EROSION CONTROL PLAN.
3. LETTERS SHALL BE 1/2" MINIMUM HEIGHT.

MODNR SITE NOTIFICATION SIGN
NOT TO SCALE



DETAIL EI-B: INTERCEPTION SHEET FLOW PERPENDICULAR TO FLOW PATH - PLAN VIEW

DETAIL EI-C: PLAN VIEW - TYPICAL ARRANGEMENT OF EELS USED FOR PERIMETER CONTROL



DETAIL EI-A: EROSION EELS

SPACING RECOMMENDATIONS FOR THE EROSION EEL FOR PERIMETER CONTROLS AND INTERCEPTING SHEET FLOW ON SLOPES.

SLOPE(%)	SINGLE EEL SPACING(ft)
0.5	300
1	200
2	150
3	100
4	80
5	60
6	40
8	30
10	25
15	+17
20	+12
25	N/A
33	N/A
50	N/A

GENERAL NOTES:

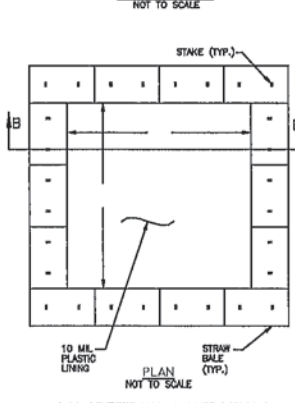
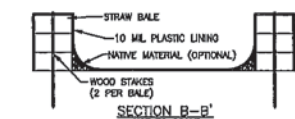
1. EROSION EELS USED IN PERIMETER CONTROL APPLICATIONS SHALL HAVE A SPECIFICATION MIXTURE 1.0 OR 2.0.
 - A. MIXTURE SPECIFICATION 1.0: A FILTER MATERIAL COMPOSED OF 100% RUBBER SHAVES. THE RUBBER SHALL BE SHREDDED TO PRODUCE A MAXIMUM PARTICLE SIZE OF +/- 3/4 INCH.
 - B. MIXTURE SPECIFICATION 2.0: A FILTER MIXTURE COMPOSED OF 100% SHREDDED RUBBER DERIVED FROM RECYCLED TIRES. MAXIMUM PARTICLE SIZE IS +/- 2 INCHES.
2. LENGTHS OF EROSION EELS SHALL BE EITHER A NOMINAL +/- 10 FT. OR +/- 4.8 FT. NOMINAL DIAMETER SHALL BE +/- 0.5 INCHES FOR PERIMETER CONTROLS AND +/- 20 INCHES FOR CHECK DAM APPLICATIONS.
3. EROSION EELS CAN BE PLACED AT THE TOP, ON THE FACE, OR AT THE TOE OF SLOPES TO INTERCEPT RUNOFF, REDUCE FLOW VELOCITY, RELEASE THE RUNOFF OF SHEET FLOW AND PROMOTE REMOVAL OF SEDIMENT FROM THE RUNOFF.
4. EROSION EELS SHALL BE INSTALLED ALONG THE GROUND CONTOUR, AT THE TOE OF SLOPES, AT AN ANGLE TO THE CONTOUR TO DIRECT FLOW AS A DIVERSION BERM, AROUND INLET STRUCTURES, IN A DITCH AS A CHECK DAM TO HELP REDUCE SUSPENDED SOLIDS LOADING AND RETAIN SEDIMENT, OR AS A GENERAL FILTER FOR ANY DISTURBED SOIL AREA.
5. NO TRENCHING IS REQUIRED FOR INSTALLATION OF EROSION EELS.
6. PREPARE BED FOR EEL INSTALLATION BY REMOVING ANY LARGE DEBRIS INCLUDING ROCKS, SOIL CLOUDS, AND WOODY VEGETATION. EROSION EELS CAN ALSO BE PLACED OVER PAVED SURFACES INCLUDING CONCRETE AND ASPHALT WITH NO SURFACE PREPARATION REQUIRED.
7. RAKE BED AREA WITH HAND RAKE OR BY DRAG HARROW.
8. DO NOT PLACE EEL DIRECTLY OVER RILL AND GULLIES UNTIL AREA HAS BEEN HAND-EXCAVATED AND PAVED TO PROVIDE A LEVEL BEDDING SURFACE. ALL SURFACES SHALL BE UNIFORMLY COMPACTED FOR MAXIMUM SEATING OF EELS IN PLACE.
9. FOR LOCATIONS WHERE EELS WILL BE PLACED IN CONCENTRATED FLOWS (SUCH AS CHECK DAMS, INLET PROTECTION) AND FOR PERIMETER CONTROLS AT PRIMARY DISCHARGE LOCATIONS.
10. FOR DITCH APPLICATIONS, THE MAXIMUM DRAINAGE AREA SHALL BE 10 ACRES.
11. IF MORE THAN ONE EROSION EEL IS PLACED IN A ROW, PREPARE JOINTS PER DETAIL EI-B.
12. EROSION EELS SHALL REMAIN IN PLACE UNTIL FULLY ESTABLISHED VEGETATION HAS COMPLETELY DEVELOPED OR UNTIL STORAGE CAPACITY / FUNCTIONAL LIFE OF THE EEL HAS BEEN EXHAUSTED (REQUIRING REPLACEMENT WITH NEW EELS).
13. ANCHORING POSTS FOR CHECK DAM APPLICATIONS SHALL HAVE A MINIMUM WEIGHT OF 1.25 LBS/FT STEEL T-POSTS (6 TO 7 FT. LENGTHS) ROLLED FROM HIGH CARBON STEEL. POSTS SHOULD BE HOT-DIPPED GALVANIZED OR COATED WITH A WEATHER-RESISTANT PAINT FOR STEEL APPLICATION. POSTS SHOULD BE EQUIPPED WITH A METAL ANCHOR PLATE. INSTALL PER DETAILS ON THIS SHEET.
14. PLACE T-POSTS THROUGH HANDLE OF BAGS. DO NOT DRIVE POSTS THROUGH EROSION EELS. T-POSTS ARE TO BE EMBEDDED A MINIMUM OF 3 FT. INTO GROUND ON STEEP SLOPES GREATER THAN 25%.

CONSTRUCTION:

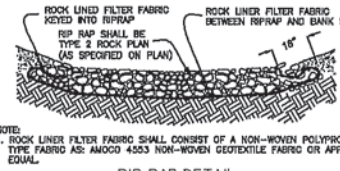
1. INSTALL EROSION EELS NEAR THE DOWNSTREAM PERIMETER OF DISTURBED AREA TO INTERCEPT SEDIMENT FROM SHEET FLOW. INCORPORATE THE EELS INTO EROSION CONTROL MEASURES USED TO THE SEDIMENT ON CONSTRUCTION SITES. INSTALL, ALIGN, AND LOCATE THE EROSION EELS AS SPECIFIED BELOW, AS SHOWN ON THE PLANS, AS DIRECTION.
2. A. STABILIZING / SECURING. SECURE EROSION EELS IN A METHOD ADEQUATE TO PREVENT DISPLACEMENT AS A RESULT OF NORMAL RAIN EVENTS AND SUCH THAT FLOW IS NOT ALLOWED UNDER THE BAGS.
3. B. MAINTENANCE. INSPECT AND MAINTAIN THE EROSION EELS IN GOOD CONDITION. MAINTAIN THE INTEGRITY OF THE CONTROL, INCLUDING KEEPING THE BAGS FREE OF ACCUMULATED SILT, DEBRIS, ETC., UNTIL PERMANENT EROSION CONTROL FEATURES ARE IN PLACE, OR THE DISTURBED AREA HAS BEEN ADEQUATELY STABILIZED. STABILIZE THE AREAS DAMAGED BY THE REMOVAL PROCESS USING APPROPRIATE METHODS AS APPROVED. REPAIR OR REPLACE DAMAGED EROSION EELS AS REQUIRED AND AS DIRECTED. TEMPORARILY REMOVE AND REPLACE EROSION EELS AS REQUIRED TO FACILITATE WORK, REMOVE SEDIMENT AND DEBRIS WHEN ACCUMULATION REACHED SOLE OF THE STORAGE HEIGHT BEHIND THE SINGLE OR STACKED EEL ARRANGEMENT. DISPOSE OF SEDIMENT AND DEBRIS AT AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL EROSION.
4. C. REMOVAL. REMOVE AND REUSE EROSION EELS WHEN DIRECTED.

EROSION EELS

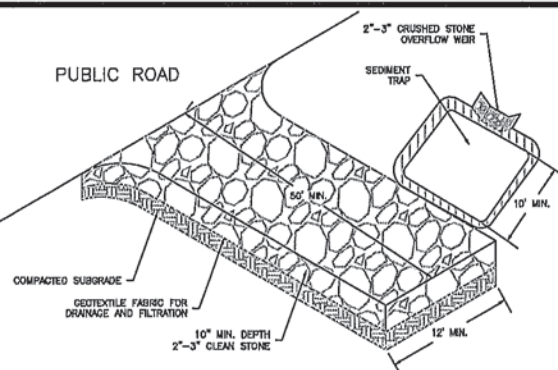
N.T.S.



CONCRETE WASHOUT DETAIL
NOT TO SCALE



RIE-RAP DETAIL
N.T.S.



TEMPORARY GRAVEL CONSTRUCTION EXIT
NOT TO SCALE

1. PROVIDE SEDIMENT TRAP ON DOWN GRADIENT SIDE (OR BOTH SIDES) IF WHEED, WASHING IS REQUIRED.
2. FLUSH SURFACE STONE TOWARD SEDIMENT TRAP WITH HIGH VOLUME WATER FLOW AS NEEDED TO MAINTAIN CLEAN SURFACE STONE.
3. SEDIMENT TRAP SHALL BE LOCATED OUTSIDE OF RIGHT-OF-WAY AND AT A MINIMUM SETBACK DISTANCE AS REQUIRED PER LOCAL JURISDICTION.
4. SEE SWPPP PLANS FOR LOCATION OF SEDIMENT TRAP(S).
5. CONTRACTOR TO LOCATE TEMPORARY CONSTRUCTION FENCING, JERSEY BARRIERS, OR BOTH ALONG THE SIDES OF THE CONSTRUCTION EXIT TO PREVENT CONSTRUCTION TRAFFIC FROM SHORT CROUTING/BYPASSING THE EXIT.



REV	DESCRIPTION	DATE	BY	CHKD
1	ISSUED FOR CONSTRUCTION	3-25-19		
2	REVISION	5-29-18		

IMPROVEMENT PLANS FOR WILLIAMSBURG PHASE 4

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TEL: 573-243-7080
FAX: 573-243-2191

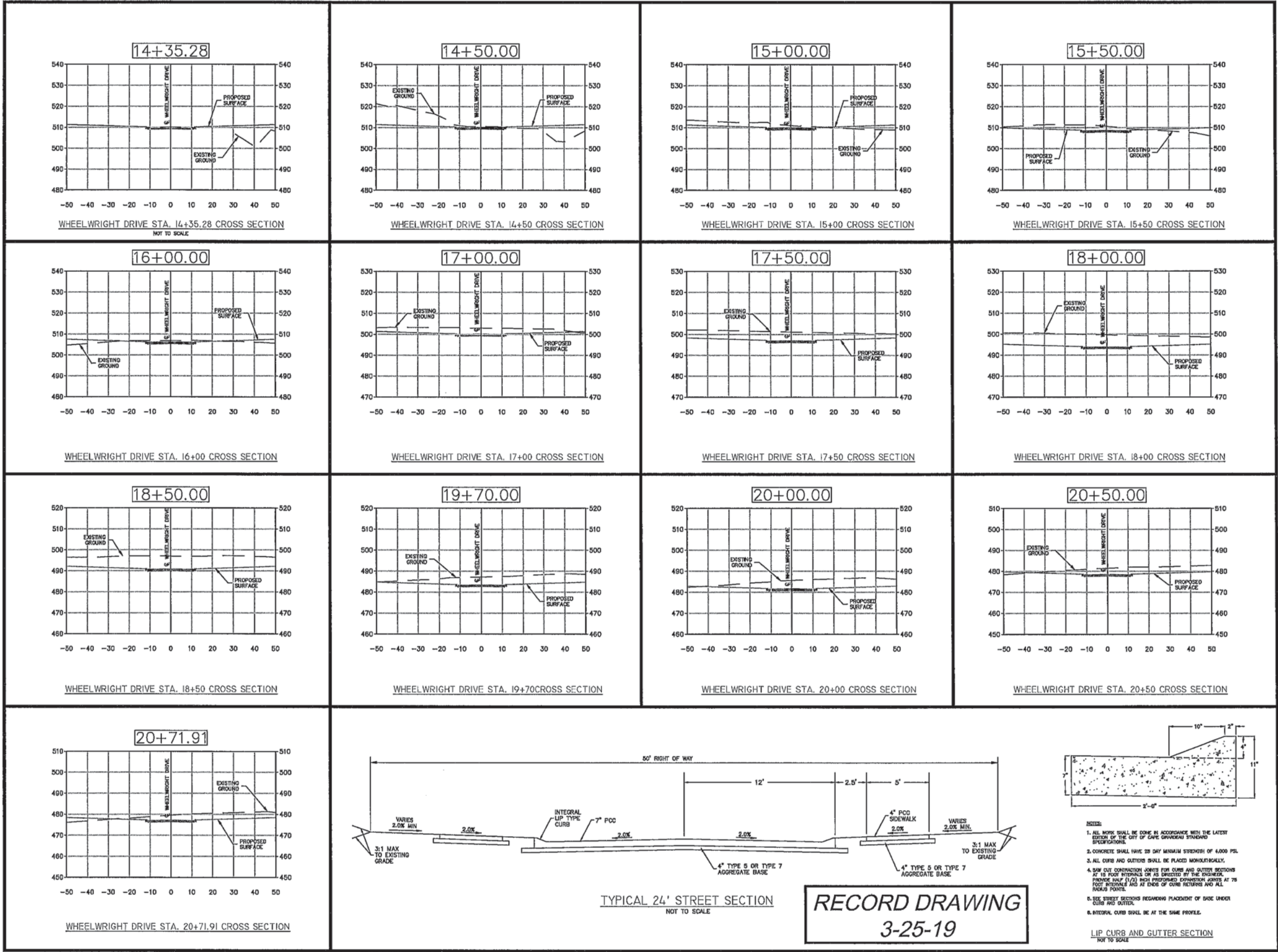
STRICKLAND
ENGINEERING
SENSE

CIVIL - MECHANICAL - PLUMBING - ELECTRICAL ENGINEERING
LAND SURVEYING

DRAWING TITLE

EROSION DETAILS

SCALE	As Noted
DATE	2-22-18
DRAWN BY	MTM
JOB NO.	17-056
DRAWING NUMBER	16
CONSECUTIVE NUMBER OF	16 OF 20



REV	DESCRIPTION	DATE
1	ADDED CURB AND GUTTER SECTIONS CURRENT SHEET 3 OF 4	3-16-18
2	ADDED CURB AND GUTTER SECTIONS CURRENT SHEET 3 OF 4	3-29-18

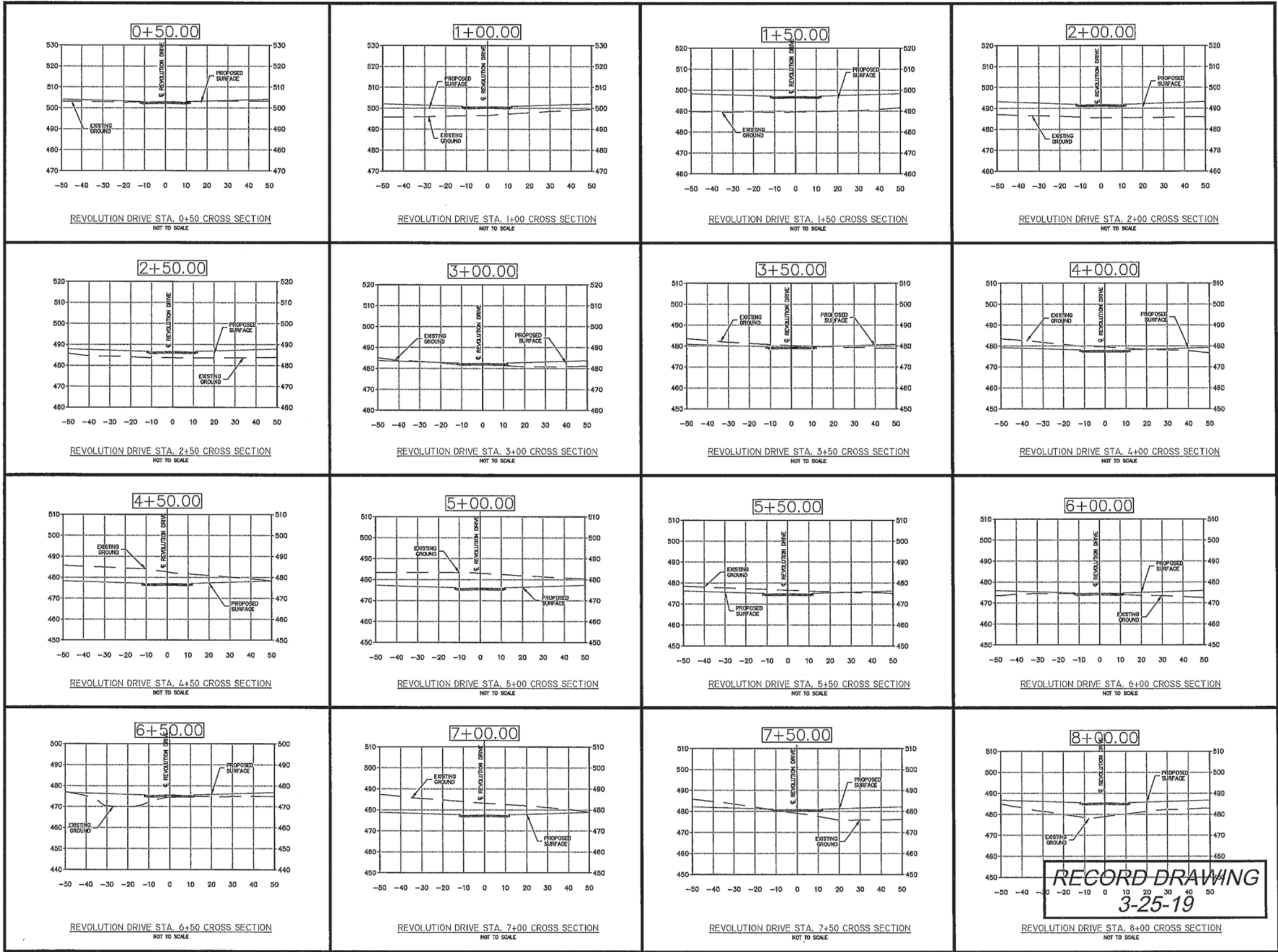
IMPROVEMENT PLANS FOR
WILLIAMSBURG PHASE 4

STRICKLAND
ENGINEERING
CAPE GIRARDEAU, MISSOURI
115 WEST MAIN STREET
JACKSON, MISSOURI 63755
TEL: 573-243-7080
FAX: 573-243-2191

DRAWING TITLE
**CROSS
SECTIONS
WHEELWRIGHT
DRIVE**

SCALE As Noted
DATE 2-22-18
DRAWN BY MTM
JOB No. 17-056
DRAWING NUMBER 17
CONSECUTIVE NUMBER 17
OF 20

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1

2

REV

DESCRIPTION

1
REVISION 1
2
REVISION 2

DATE

8-16-18
5-29-19

REV

DESCRIPTION

DATE

REV

SEAL

STATE OF MISSOURI

REGISTERED PROFESSIONAL ENGINEER

NO. 10000

EXPIRATION DATE 12/31/2020

DATE

2/22/19

113 WEST MAIN STREET
JACKSON, MISSOURI 63755
TEL: 573-243-4080
FAX: 573-243-5191

SENECKLAND ENGINEERING

CIVIL - MECHANICAL - PLUMBING - ELECTRICAL ENGINEERING
LAND SURVEYING

IMPROVEMENT PLANS FOR
WILLIAMSBURG PHASE 4
CAPE GIRARDEAU, MISSOURI

DRAWING TITLE

CROSS
SECTIONS
REVOLUTION
DRIVE

SCALE

As Noted

DATE

2-22-18

DRAWN BY

MTM

JOB No.

17-056

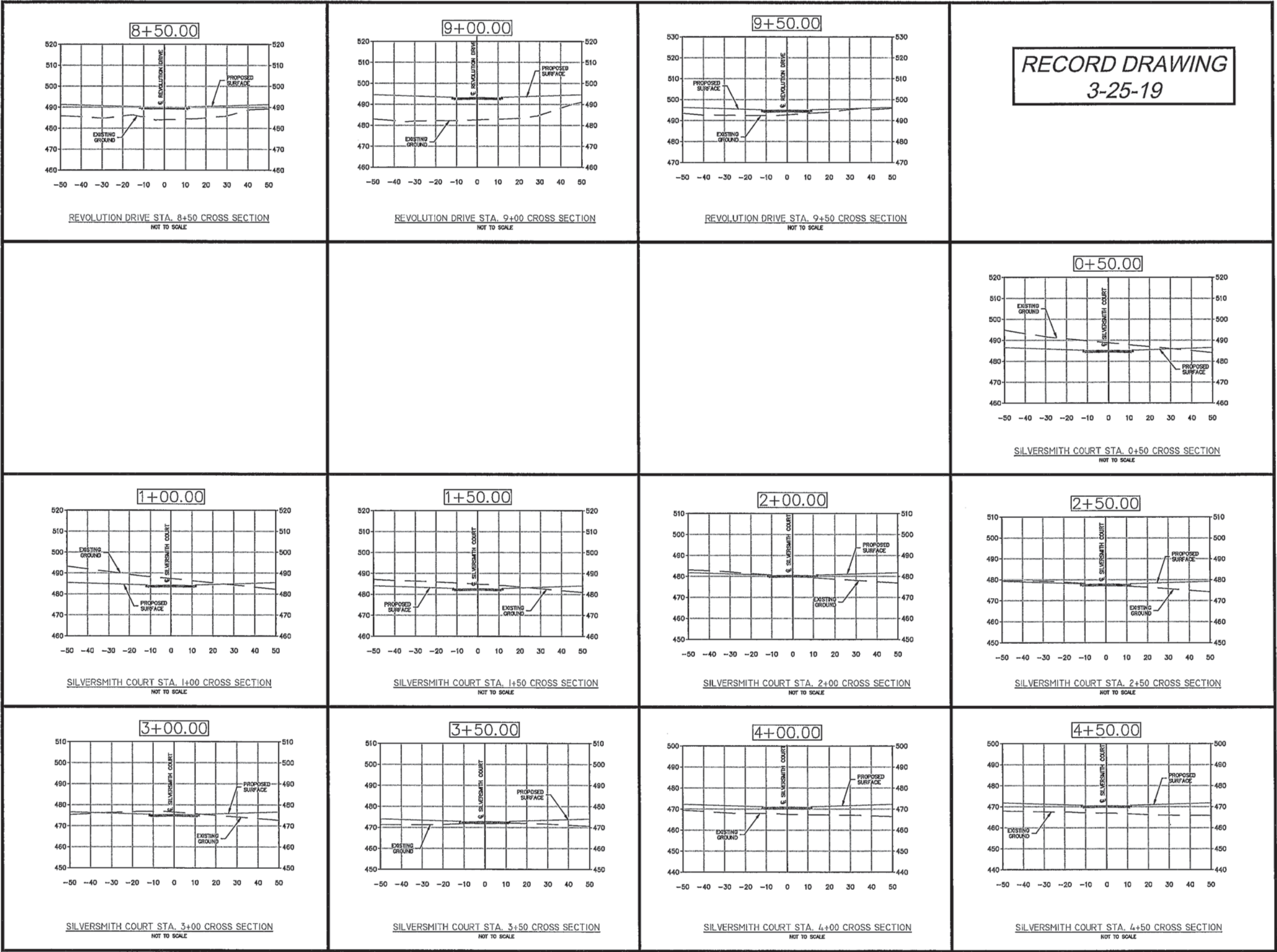
DRAWING
NUMBER

18

CONSECUTIVE NUMBER
OF

18
20

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RECORD DRAWING
3-25-19



REV	DESCRIPTION	DATE	DATE
1	ADDED CROSS SECTIONS FOR REVOLUTION DRIVE & SILVERSMITH COURT	8-16-18	
2	ADDED CROSS SECTION FOR SILVERSMITH COURT	5-23-18	

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IMPROVEMENT PLANS FOR
WILLIAMSBURG PHASE 4

STRICKLAND
ENGINEERING
113 WEST MAIN STREET
JACKSON, MISSOURI 63755
TEL: 573-243-4080
FAX: 573-243-2191

CIVIL - MECHANICAL - PLUMBING - ELECTRICAL ENGINEERING
LAND SURVEYING

DRAWING TITLE
CROSS
SECTIONS
REVOLUTION DR
&
SILVERSMITH CT

SCALE As Noted
DATE 2-22-18
DRAWN BY MTM
JOB No. 17-056
DRAWING NUMBER 19
CONSECUTIVE NUMBER OF 19 20

MAINTENANCE REQUIREMENTS:

- ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR UNTIL FINAL STABILIZATION IS ACHIEVED ON THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
 2. ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDING AS NEEDED.
 3. SILT FENCES, TREE PROTECTION, AND EROSION EELS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
 4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
 5. THE TEMPORARY PARKING AND STORAGE AREAS SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
 6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS, SILT FENCES AND OTHER SEDIMENT CONTROLS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
 7. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEARED OF DEBRIS AND/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEARED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

EROSION CONTROL SCHEDULE

THE LAND DISTURBANCE ACTIVITIES FOR THIS PROJECT WILL OCCUR IN THE FOLLOWING ORDER:

1. ESTABLISH CONSTRUCTION ENTRANCE AND INSTALL SILT FENCES AND TREE PROTECTION.
2. PREPARE CONTRACTOR PARKING & STAGING AREA.
3. CLEAR BRUSH AND STRIPPING AND STOCKPILING TOPSOIL.
4. OVERALL SITE GRADING.
5. TEMPORARY SEEDING.
6. SANITARY SEWER CONSTRUCTION.
7. INSTALL STORM SEWER WITH INLET FILTERS AS SOON AS POSSIBLE, EXCAVATION FOR OTHER GENERAL UTILITIES.
8. CONSTRUCT WATER MAIN.
9. CONSTRUCT STREETS.
10. SPREAD 4" OF TOPSOIL ON SURFACE OF VEGETATIVE AREA & IMMEDIATELY SEED OR SOO, ROLL, FERTILIZE AND WATER.
11. ESTABLISH CONCRETE WASHOUT AREA.

MAINTENANCE NOTES

ALL STORMWATER INFRASTRUCTURE SHALL BE MAINTAINED BY THE CONTRACTOR/OWNER UNTIL THE MAINTENANCE RESPONSIBILITY IS ASSUMED BY EITHER THE CITY OF CAPE GIRARDEAU (INFRASTRUCTURE WITHIN THE RIGHT-OF-WAY ONLY) OR THE HOMEOWNER'S ASSOCIATION FOR THE ASSOCIATION'S COVENANTS (ALL OTHER INFRASTRUCTURE).

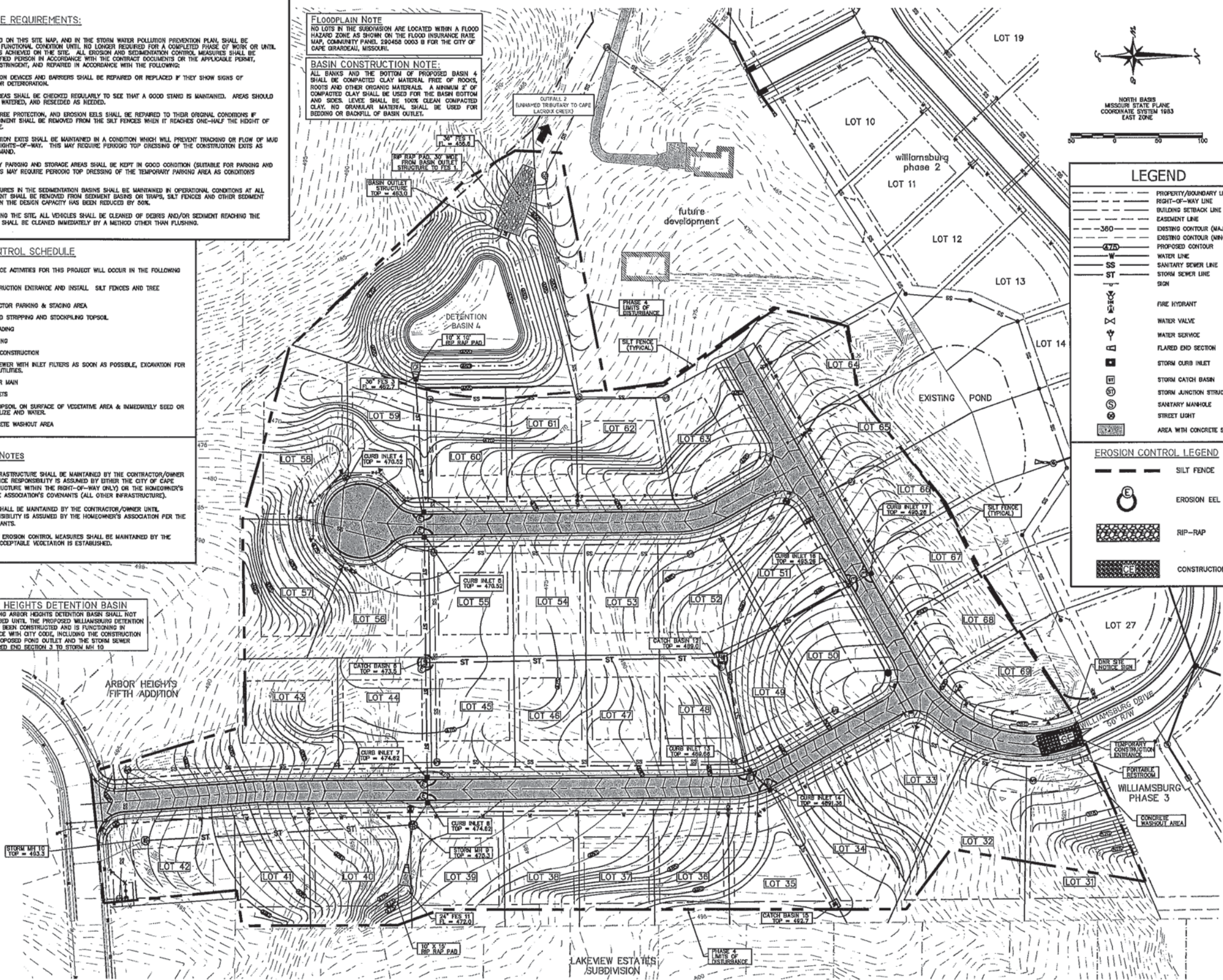
DETENTION BASIN 4 SHALL BE MAINTAINED BY THE CONTRACTOR/OWNER UNTIL MAINTENANCE RESPONSIBILITY IS ASSUMED BY THE HOMEOWNER'S ASSOCIATION FOR THE ASSOCIATION'S COVENANTS.

ALL MAINTENANCE OF EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ACCEPTABLE VEGETATION IS ESTABLISHED.

ARBOR HEIGHTS DETENTION BASIN
THE EXISTING ARBOR HEIGHTS DETENTION BASIN SHALL NOT BE DISTURBED UNTIL THE PROPOSED WILLIAMSBURG DETENTION BASIN HAS BEEN CONSTRUCTED AND IS FUNCTIONING IN ACCORDANCE WITH CITY CODE, INCLUDING THE CONSTRUCTION OF THE PROPOSED POND OUTLET AND THE STORM SEWER FROM FLARED END SECTION 3 TO STORM MH 10.

FLOODPLAIN NOTE
NO LOTS IN THE SUBDIVISION ARE LOCATED WITHIN A FLOOD HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 280458 0003 B FOR THE CITY OF CAPE GIRARDEAU, MISSOURI.

BASIN CONSTRUCTION NOTE:
ALL BANKS AND THE BOTTOM OF PROPOSED BASIN 4 SHALL BE COMPACTED CLAY MATERIAL FREE OF ROCKS, ROOTS AND OTHER ORGANIC MATERIALS. A MINIMUM 2" OF COMPACTED CLAY SHALL BE USED FOR THE BASIN BOTTOM AND SIDES. LEVEE SHALL BE 100% CLEAN COMPACTED CLAY. NO GRAVELLY MATERIAL SHALL BE USED FOR BEDDING OR BACKFILL OF BASIN OUTLET.



LEGEND

- PROPERTY/BOUNDARY LINE
- RIGHT-OF-WAY LINE
- BUILDING SETBACK LINE
- EASEMENT LINE
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- PROPOSED CONTOUR
- WATER LINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- SIGN
- FIRE HYDRANT
- WATER VALVE
- WATER SERVICE
- FLARED END SECTION
- STORM CURB INLET
- STORM CATCH BASIN
- STORM JUNCTION STRUCTURE
- SANITARY MANHOLE
- STREET LIGHT
- AREA WITH CONCRETE SURFACE

EROSION CONTROL LEGEND

- SILT FENCE
- EROSION EEL
- RIP-RAP
- CONSTRUCTION EXIT



REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	5-16-18			
2	MAJOR REVISIONS: 1. ADD DETENTION BASIN 4, 2. ADD STORM SEWER FROM DETENTION BASIN 4 TO STORM MH 10, 3. ADD CONCRETE WASHOUT AREA	5-29-18			

IMPROVEMENT PLANS FOR WILLIAMSBURG PHASE 4

STRICKLAND ENGINEERING
CIVIL - MECHANICAL - PLUMBING - ELECTRICAL ENGINEERING
LAND SURVEYING
113 WEST MAIN STREET
JACKSON, MISSOURI 63755
TEL: 573-525-5000
FAX: 573-525-5091

DRAWING TITLE

SWPPP EXHIBIT

SCALE	As Noted
DATE	2-22-18
DRAWN BY	MTM
JOB No.	17-056
DRAWING NUMBER	20
CONSECUTIVE NUMBER OF	20

Staff: Ryan Shrimplin, AICP - City Planner
Agenda: 5/6/2019

SUBJECT

An Ordinance amending Chapter 30 of the Code of Ordinances of the City of Cape Girardeau, Missouri, by changing the zoning of property located at 3269 Hopper Road, in the City and County of Cape Girardeau, Missouri, from R-1 to C-1.

EXECUTIVE SUMMARY

The attached ordinance rezones property at 3269 Hopper Road from R-1 (Single-Family Suburban Residential District) to C-1 (General Commercial District). The City Council's public hearing on the rezoning request was held on May 6, 2019.

BACKGROUND/DISCUSSION

An application has been submitted to rezone property at 3269 Hopper Road from R-1 (Single-Family Suburban Residential District) to C-1 (General Commercial District). The subject property contains a single-family dwelling, which will be vacated and demolished if the rezoning request is approved.

The immediately surrounding properties are zoned C-1 (General Commercial District) to the north, northwest, and west, and R-1 (Single-Family Suburban Residential District) to the southwest, south, and east. This area consists of developed and undeveloped commercial properties, churches, single-family dwellings, and public parks/open space. The Comprehensive Plan’s Future Land Use and Infrastructure Map shows the subject property as Mixed Use.

An ordinance rezoning the property from R-1 to C-1 is attached. The City Council's public hearing on the rezoning request was held on May 6, 2019.

SUSTAINABILITY: ECONOMIC, ENVIRONMENTAL AND SOCIAL IMPACTS

In considering a rezoning request, both the Planning and Zoning Commission and the City Council must determine if the proposed zoning district is reasonable and in reasonable conformity with the existing uses and value of the immediately surrounding properties. The subject property is located at the intersection of Hopper Road and North Mt. Auburn Road. The other three properties at this intersection are zoned C-1. Given the location of the property at the intersection of two minor thoroughfares and the zoning of the other properties at the intersection, the proposed zoning district is reasonable and in reasonable conformity with the surrounding properties.

STAFF RECOMMENDATION

The staff report to the Planning and Zoning Commission recommended approval of the rezoning request.

BOARD OR COMMISSION RECOMMENDATION

The Planning and Zoning Commission held a public hearing on April 10, 2019 and recommended approval of the rezoning request by a vote of 7 in favor, 0 in opposition, and 1 abstaining.

PUBLIC OUTREACH

The City Council's public hearing was advertised in the Southeast Missourian on April 21, 2019. In addition, a sign containing the date, time, location and subject of the Planning and Zoning Commission and City Council public hearings was posted on the property. Notices were also mailed to the adjacent property owners.

ATTACHMENTS:

Name:	Description:
3269_Hopper_Road_Rezone.doc	Ordinance
Staff_Review-Referral-Action_Form.pdf	3269 Hopper Road - Staff RRA Form
Map_-_Zoning_-_3269_Hopper_Road.pdf	3269 Hopper Road - Zoning Map
Map_-_FLU- 3269_Hopper_Road.pdf	3269 Hopper Road - FLU Map

BILL NO. 19-67

ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 30 OF THE CODE OF ORDINANCES OF THE CITY OF CAPE GIRARDEAU, MISSOURI, BY CHANGING THE ZONING OF PROPERTY LOCATED AT 3269 HOPPER ROAD, IN THE CITY AND COUNTY OF CAPE GIRARDEAU, MISSOURI, FROM R-1 TO C-1

WHEREAS, the City Planning and Zoning Commission has recommended rezoning all of the property described in Article 1 of this Ordinance from R-1, Single-Family Suburban Residential District, to C-1, General Commercial District; and

WHEREAS, Public Notice of such change was given as prescribed in Chapter 30 of the Code of Ordinances of the City of Cape Girardeau, Missouri, and a public hearing was held on Monday, May 6, 2019; and

WHEREAS, the City Council of the City of Cape Girardeau, Missouri, has elected to rezone the property described in Article 1 from R-1, Single-Family Suburban Residential District, to C-1, General Commercial District.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CAPE GIRARDEAU, MISSOURI, AS FOLLOWS:

ARTICLE 1. Chapter 30 of the Code of Ordinances of the City of Cape Girardeau, Missouri, is hereby amended to change the zoning from the present R-1, Single-Family Suburban Residential District, to C-1, General Commercial District, for the following described property:

A parcel of land containing 1.423 acres, more or less, located in Out Lot No. 78B of U.S. Survey No. 2199, in Township 31 North, Range 13 East, described as follows:

Start at the Northwest corner of said Out Lot 78B; thence South 6 deg. 0 min. West along West line of said Survey No. 2199, 46.5 feet; thence South 81 deg. 20' East, 165.0 feet to a point in the South right-of-way line of Hopper Road for the point of beginning; thence continue South 81 deg. 20 min. East along said South line, 225.0 feet for a corner; thence South 8 deg. 54 min. East 246.1 feet for a corner; thence North 85 dcg. 30 min. West, 280.0 feet for a corner;

thence North 4 deg. 10 min. East, 255.7 feet to the point of beginning and contains 1.423 acres, more or less.

AND

A parcel of land containing 0.50 of an acre, more or less, located in Out Lot 78B, Survey No. 2199, Township 31 North, Range 13 East, described as follows:

Start at the northwest corner of said Out Lot 78B; thence South 6 deg. 0 min. West, 46.5 feet; thence South 81 deg. 20 min. East, 35.0 feet to the point of intersection of the east line of Mount Auburn Road with the south line of Hopper Road for the point of beginning; thence South 81 deg. 20 min. East, 130.0 feet to the northwest corner of a 1.423 acre parcel; thence South 4 deg. 10 min. West, along the west line of said parcel, 194.9 feet; thence North 87 deg. 50 min. West 135.8 feet to a point in the east line of Mount Auburn Road; thence North 6 deg. 0 min. East, along said east line 198.5 feet to the point of beginning.

AND

A parcel of land containing 0.66 of an acre, more or less, located in Out Lot 78B, Survey No. 2199, Township 31 North, Range 13 East, described as follows:

Start at the northwest corner of said Out Lot 78B; thence South 6 deg. 0 min. West, 46.5 feet; thence South 81 deg. 20 min. East, 35.0 feet to the point of intersection of the east line of Mount Auburn Road with the south line of Hopper Road for the point of beginning; thence South 81 deg. 20 min. East, 262.98 feet; then North 2 deg. 49 min. 36 sec. West, 18.7 feet; then North 84 deg. 33 min. 50 sec. West, 243.06 feet; then South 82 deg. 52 min West, 17.24 feet to the point of beginning.

ARTICLE 2. The City Council hereby finds and declares that the property described in Article 1 hereof is at the present time particularly suitable for the purposes and uses of the C-1,

General Commercial District, and that such changes authorized hereby are reasonable and in reasonable conformity with the existing uses and value of the immediately surrounding properties.

ARTICLE 3. This ordinance shall be in full force and effect ten days after its passage and approval.

PASSED AND APPROVED THIS _____ DAY OF _____, 2019.

Bob Fox, Mayor

ATTEST:

Bruce Taylor, Deputy City Clerk

CITY OF CAPE GIRARDEAU, MISSOURI

City Staff Review, Referral and Action on Rezoning/Special Use Permit Application

FILE NO. **1383**

LOCATION: 3269 Hopper Road

STAFF REVIEW & COMMENTS:

Beth McFerron, on behalf of Mary Armbruster, is requesting to rezone property at 3269 Hopper Road from the R-1 (Single-family Suburban Residential) district to the C-1 (General Commercial) district. SEE STAFF REPORT FOR FURTHER INFORMATION

By 83%.
City Planner

3/28/19
Date

W. RIC JENNINGS
City Attorney

MARCH 28, 2019
Date

CITY MANAGER REFERRAL TO THE PLANNING AND ZONING COMMISSION:

[Signature]
City Manager

3-28-19
Date

Planning & Zoning Commission

Public Hearing Sign Posting Date: _____ Public Hearing Date: 04/10/19

RECOMMENDED ACTION:

	Favor	Oppose	Abstain
Larry Dowdy	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jeff Glenn	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kevin Greaser	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Derek Jackson	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Patrick Koetting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	Favor	Oppose	Abstain
Bruce Skinner	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Doug Spooler	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ed Thompson	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tom Welch	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

VOTE COUNT: 7 Favor 0 Oppose 1 Abstain

COMMENTS:

CITIZENS COMMENTING AT MEETING:

Kevin Greaser
Kevin Greaser
Planning & Zoning Commission Secretary

City Council Action

Posting Dates: Sign _____ Newspaper 4-21-19 Public Hearing Date: 5-6-19

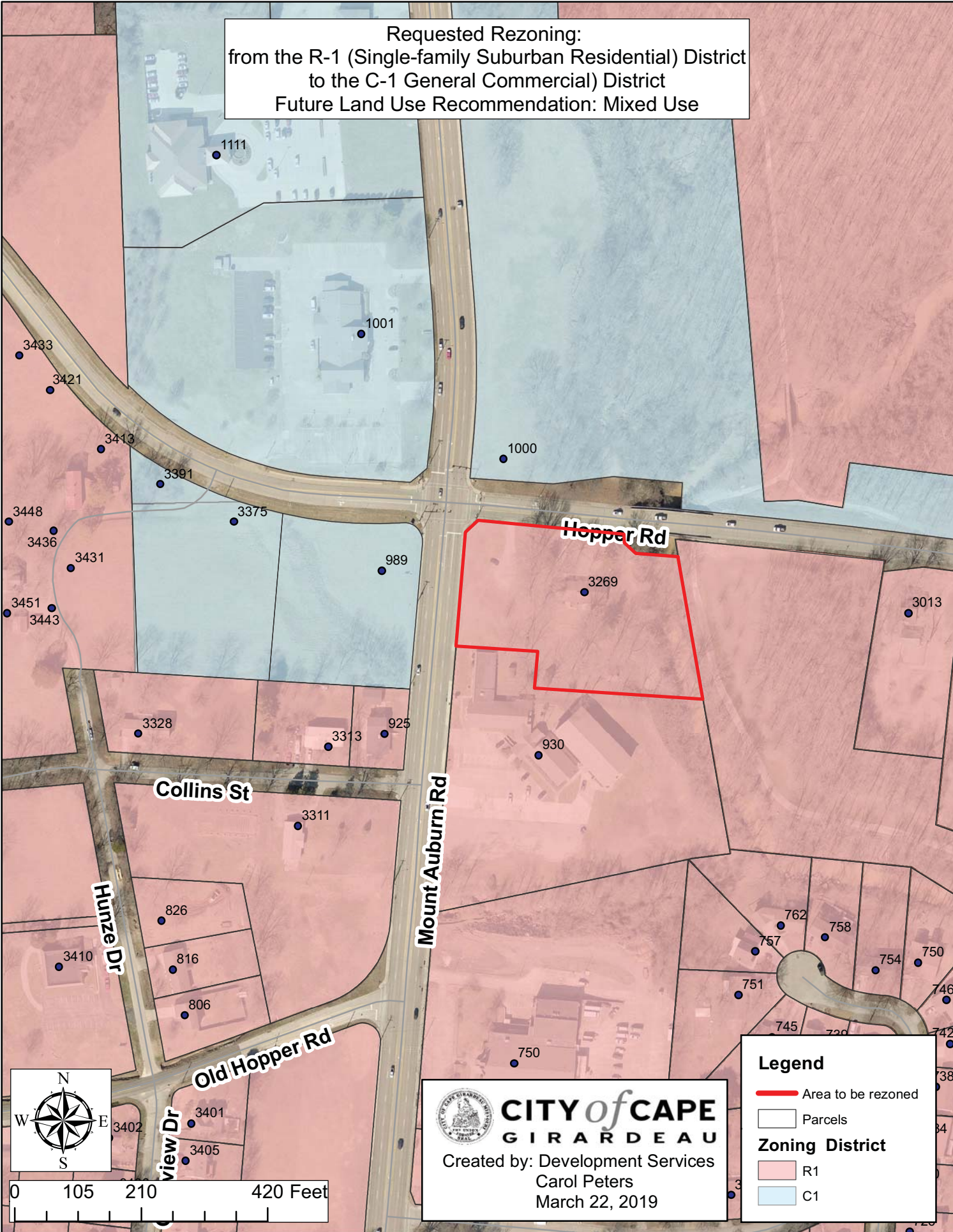
Ordinance 1st Reading _____ Ordinance 2nd & 3rd Reading: _____

VOTE COUNT: _____ Favor _____ Oppose _____ Abstain

ORDINANCE # _____ **Effective Date:** _____

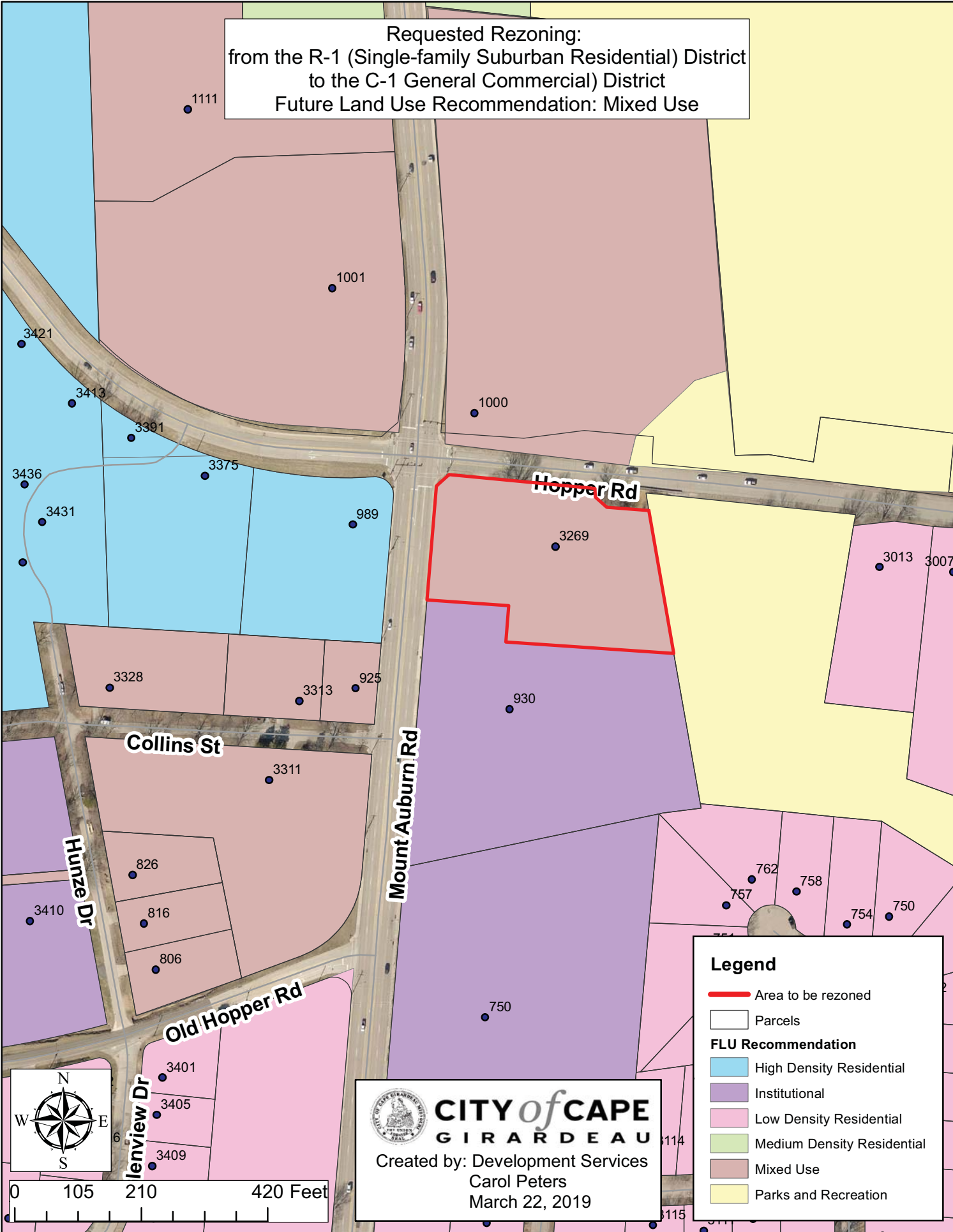
Rezoning Request - 3269 Hopper Road

Requested Rezoning:
from the R-1 (Single-family Suburban Residential) District
to the C-1 General Commercial) District
Future Land Use Recommendation: Mixed Use



Rezoning Request - 3269 Hopper Road

Requested Rezoning:
from the R-1 (Single-family Suburban Residential) District
to the C-1 General Commercial) District
Future Land Use Recommendation: Mixed Use





REZONING / SPECIAL USE PERMIT APPLICATION
CITY of CAPE GIRARDEAU

DEVELOPMENT SERVICES DEPARTMENT, 401 INDEPENDENCE ST, CAPE GIRARDEAU, MO 63703 (573) 339-6327

Property Address/Location

3269 Hopper St. Cape Girardeau, MO 63701

Applicant

Beth M. Fennell for Armbruster Family

Property Owner of Record (if other than Applicant)

Mary L. Armbruster

Mailing Address

City, State, Zip MO 63701

Mailing Address

City, State, Zip MO

3269 Hopper Cape Girardeau

3269 Hopper Cape Girardeau

Telephone

Email

(573) 270-9575 beth@hmrrealty.com

Telephone

Email

jcrites@sgmo.edu

Contact Person (If Applicant is a Business or Organization)

(Attach additional owners information, if necessary)

Beth M. Fennell

Type of Request: Rezoning, Special Use Permit, or Both

C-1

Existing Zoning District

R-1

Proposed Zoning District (Rezoning requests only)

C-1

Legal description of property to be rezoned and/or upon which the special use is to be conducted

attached

Describe the proposed use of the property.

This business is an oral & maxillofacial surgery that focuses on treating patients from birth to end of life with head, face and neck clinical needs. They provide surgical services as well as non-surgical for skin care, sleep apnea treatment, cancer treatment, tooth extraction, dental implants, cosmetic surgery, trauma & reconstruction and congenital facial deformity treatment among others.

Application continues on next page

OFFICE USE ONLY

Date Received & By 3/20/19 File No. 1383 MUNIS Application No. 8640

Planning & Zoning Commission Recommendation _____ Date _____

City Council Final Action _____ Date _____

Special Use Criteria (Special Use Permit requests only)

Explain how the Special Use Permit request meets the criteria below. Attach additional sheets, if necessary.

- 1) The proposed special use will not substantially increase traffic hazards or congestion.
- 2) The proposed special use will not substantially increase fire hazards.
- 3) The proposed special use will not adversely affect the character of the neighborhood.
- 4) The proposed special use will not adversely affect the general welfare of the community.
- 5) The proposed special use will not overtax public utilities.

ADDITIONAL ITEMS REQUIRED

See Instructions for more
information.

In addition to this completed application form, the following items must be submitted:

- ☒ Application fee (\$135.00 payable to City of Cape Girardeau + additional \$80 for Planned Development rezonings)
- ☒ One (1) list of names and mailing addresses of adjacent property owners
- ☒ One (1) set of mailing envelopes, stamped and addressed to adjacent property owners
- ☒ One (1) full size copy of a plat or survey of the property, if available
- ☒ One (1) full size set of plans, drawn to an appropriate scale, depicting existing features to be removed, existing features to remain, and all proposed features such as: buildings and structures, paved areas, curbing, driveways, parking stalls, trash enclosures, fences, retaining walls, light poles, detention basins, landscaping areas, freestanding signs, etc. (Planned Development rezonings and Special Use Permits only)
- ☒ Digital file of the plans in .pdf format (Planned Development rezonings and Special Use Permits only; can be emailed)
- ☐ One (1) set of Planned Development documents (Planned Development rezonings only)

CERTIFICATIONS

The undersigned hereby certifies that:

- 1) They are the Property Owner(s) of Record for the property described in this application;
- 2) They acknowledge that an approved Special Use Permit becomes null and void if the use for which the permit was granted does not commence within twelve (12) months of the approval date, unless an extension has been granted; and
- 3) They acknowledge that they are responsible for ensuring that all required licenses and permits are obtained prior to commencing any use or work on the property.

Wayne Armbruster

Property Owner of Record Signature and Printed Name

3/20/19

Date

(Provide additional owners signatures and printed names in the space below, if applicable)

JUAN CRITES

THOMAS H. ARMBRUSTER

The undersigned hereby certifies that they are an agent duly authorized by the Property Owner(s) of Record to file this application on their behalf, and that the Property Owner(s) of Record hereby agree to the above certifications.

Elizabeth (Beth) McFerron

Applicant Signature and Printed Name

3/20/19

Date

Elizabeth (Beth) McFerron

QUIT-CLAIM DEED

013456

THIS INDENTURE, Made on the 18th day of October, A.D., One Thousand Nine Hundred and Ninety-Four, by and between **JOSEPH W. ARMBRUSTER AND MARY G. ARMBRUSTER, Trustees of the Armbruster Revocable Living Trust Agreement dated June 30, 1988**, of the County of Cape Girardeau, State of Missouri, parties of the first part, and **MARY G. ARMBRUSTER, Trustee of the Mary G. Armbruster Revocable Living Trust dated October 18, 1994**, and of the County of Cape Girardeau, State of Missouri, party of the second part, whose mailing address is 3269 Hopper Road, Cape Girardeau, Missouri, 63701.

WITNESSETH, THAT THE SAID PARTIES OF THE FIRST PART, in consideration of the sum of Ten Dollars and Other Good and Valuable Consideration to them paid by the said party of the second part, the receipt for which is hereby acknowledged, do, by these presents, REMISE, RELEASE and FOREVER QUIT-CLAIM unto the said party of the second part, the following described lots, tracts or parcels of land, lying, being and situate in the County of Cape Girardeau, and State of Missouri to wit:

A parcel of land containing 1.423 acres, more or less, located in Out Lot No. 78B of U.S. Survey No. 2199, in Township 31 North, Range 13 East, described as follows:

Start at the Northwest corner of said Out Lot 78B; thence South 6 deg. 0 min. West along West line of said Survey No. 2199, 46.5 feet; thence South 81 deg. 20' East, 165.0 feet to a point in the South right-of-way line of Hopper Road for the point of beginning; thence continue South 81 deg. 20 min. East along said South line, 225.0 feet for a corner; thence South 8 deg. 54 min. East 246.1 feet for a corner; thence North 85 deg. 30 min. West, 280.0 feet for a corner; thence North 4 deg. 10 min. East, 255.7 feet to the point of beginning and contains 1.423 acres, more or less.

TO HAVE AND TO HOLD THE SAME, with all the rights, immunities, privileges and

GENERAL WARRANTY DEED

BOOK 0320 PAGE 947
004081

THIS INDENTURE, Made on the 13 day of MARCH, 1998,
by and between MARY G. ARMBRUSTER, TRUSTEE OF THE MARY G.
ARMBRUSTER REVOCABLE LIVING TRUST, Party of the First Part, and the CITY
OF CAPE GIRARDEAU, MISSOURI, a Municipal Corporation, of the County of Cape
Girardeau, in the State of Missouri, Party of the Second Part: 401 Independence, Cape
Girardeau, Missouri 63703.

WITNESSETH, That the said party of the First Part, in consideration of the sum of
Ten Dollars (\$10.00) and other good and valuable consideration, to them paid by the said
party of the Second Part, the receipt of which is hereby acknowledged, does by these
presents, Grant, Bargain and Sell, Convey and Confirm, unto the said party of the Second
part, its successors and assigns, the following described Lots, Tracts or parcels of Land,
lying, being and situate in the County of Cape Girardeau and State of Missouri, to-wit:

**THAT PART OF OUTLOT 78A AND 78B, IN UNITED STATES
PRIVATE SURVEY 2199, IN TOWNSHIP 31 NORTH, RANGE 13 EAST,
IN THE CITY AND COUNTY OF CAPE GIRARDEAU, STATE OF
MISSOURI:**

Commence at the Southwest Corner of said Outlot 78A; thence South 83 degrees 09'
37" East, along the South line of said Outlot 78A, 54.15 feet, to Missouri State Plane
Coordinate Northing 543177.67 and Easting 1090018.89, the place of beginning;
thence South 04 degrees 44' 36" West, 53.60 feet; thence North 49 degrees 59' 36"
East, 28.16 feet; thence South 84 degrees 45' 24" East, 243.06 feet; thence South 05
degrees 14' 36" West, 14.93 feet; thence South 47 degrees 53' 12" East, 25.11 feet, to
Missouri State Plane Coordinate Northing 543086.49 and Easting 1090294.86;
thence South 84 degrees 45' 24" East, 56.66 feet; thence North 11 degrees 46' 01"
West 57.08 feet; thence South 83 degrees 09' 37" East, 27.54 feet; thence North 05
degrees 38' 19" East, 66.18 feet; thence North 84 degrees 45' 24" West, 107.94 feet;
thence South 83 degrees 56' 01" West, 101.98 feet; thence North 84 degrees 45' 24"
West, 143.76 feet; thence South 04 degrees 44' 36" West, 36.40 feet to the place of
beginning and containing 0.67 acres, more or less.

TO HAVE AND TO HOLD the premises aforesaid, with all and singular the rights,
privilege, appurtenances and immunities thereto belonging or in anywise appertaining unto
the said party of the Second Part, and unto its successors and assigns, FOREVER, the said
party of the First Part hereby covenanting that they are lawfully seized of an indefeasible
Estate in Fee in the premises herein conveyed; that they have good right to convey the same;
that the said premises are free and clear of any encumbrance done or suffered by them or
those under whom they claim, and that they will WARRANT AND DEFEND the title to
the said premises unto the said party of the Second Part, and unto its successors and assigns,
FOREVER, against the lawful claims and demands of all persons whomsoever.

IN WITNESS WHEREOF, the said party of the First Part have hereunto set their
hand the day and year first above written.

Re:

ARMBRUSTER'S PROPERTY
FOR RE-ZONING

C-1

3269 HOPPER ST.

CAPE GIRARDEAU, MO 63701

Names for properites owners adjacent to property

North West corner
Ford Investments Parnership LC
1001 N. Mount Auburn Rd.
Cape Girardeau, MO 63701

South East
Mt. Auburn Christian
930 N. Mount Auburn
Cape Girardeau, MO 63701

South West
Bennett Denistry 989 mt Auburn
Ross Bennett
3 Starwood Dr.
Cape Girardeau, MO

Hopper
City of Cape Girardeau

Hopper/Mt. Auburn (NE corner)
Armbruster property

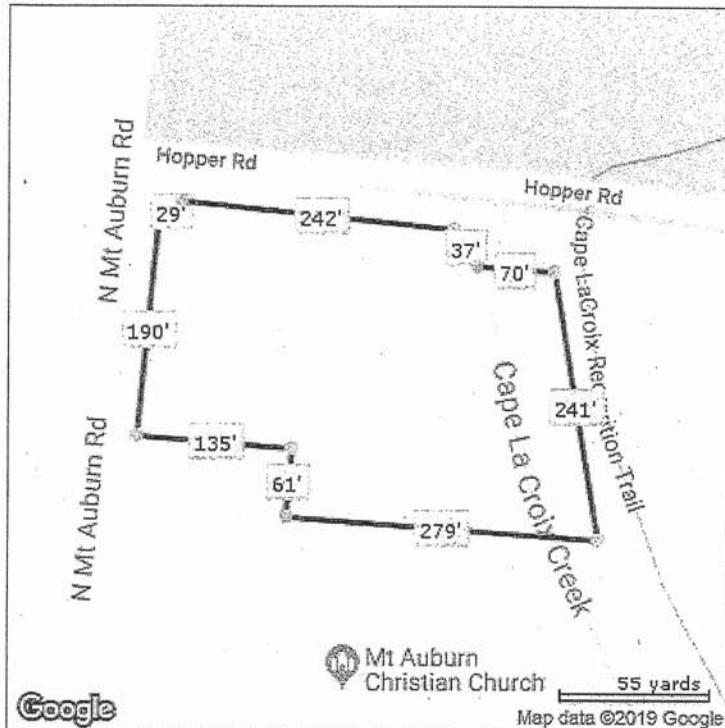
(20)

- (2) The Confidence Score is a measure of the extent to which sales data, property information, and comparable sales support the property valuation analysis process. The confidence score range is 60 - 100. Clear and consistent quality and quantity of data drive higher confidence scores while lower confidence scores indicate diversity in data, lower quality and quantity of data, and/or limited similarity of the subject property to comparable sales.
- (3) The FSD denotes confidence in an AVM estimate and uses a consistent scale and meaning to generate a standardized confidence metric. The FSD is a statistic that measures the likely range or dispersion an AVM estimate will fall within, based on the consistency of the information available to the AVM at the time of estimation. The FSD can be used to create confidence that the true value has a statistical degree of certainty.

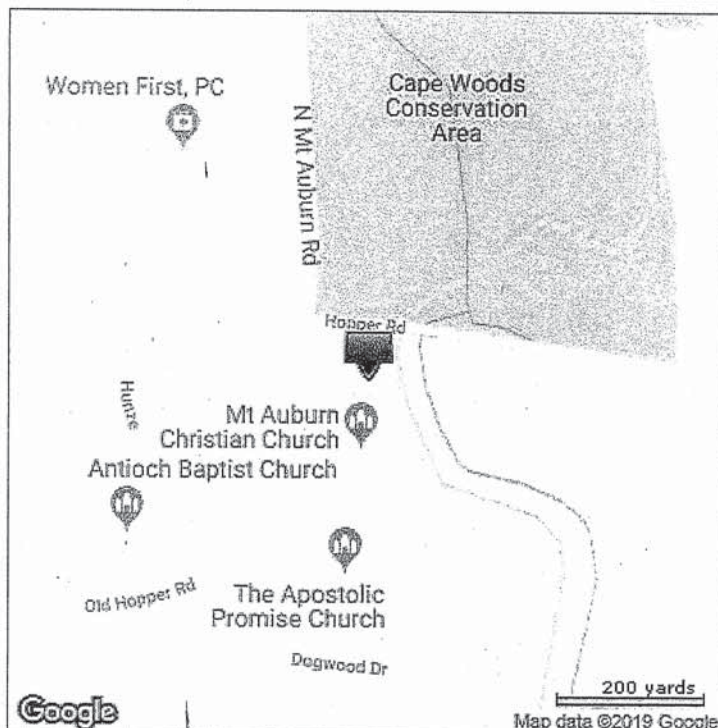
Last Market Sale & Sales History

Owner Name: **Armbruster Mary G**

Property Map



*Lot Dimensions are Estimated



Courtesy of Elizabeth McFerron, Mid America Regional Info Systems

The data within this report is compiled by CoreLogic from public and private sources. The data is deemed reliable, but is not guaranteed. The accuracy of the data contained herein can be independently verified by the recipient of this report with the applicable county or municipality.

Property Detail

Generated on 02/19/2019

Page 2 of 2

Staff: Ryan Shrimplin, AICP - City
Agenda: Planner
5/6/2019

SUBJECT

An Ordinance approving the Record Plat of 1704 David Subdivision.

EXECUTIVE SUMMARY

The attached ordinance approves a record plat for combining two tracts at 1704 David Street.

BACKGROUND/DISCUSSION

A record plat has been submitted for 1704 David Subdivision, located at 1704 David Street. The property is zoned R-1 (Single-Family Suburban Residential). The plat combines two tracts to form one new lot. The plat shows variances for reduced lot area and width. Staff supports the variances due to this being an existing parcel with no additional land available. The plat also shows an exception for the omission of the required 10 foot utility easement along the front and rear lot lines. Staff supports the exception because there are no existing or proposed City utilities in the locations where the easement is required.

STAFF RECOMMENDATION

The staff report to the Planning and Zoning Commission recommended approval of the record plat.

BOARD OR COMMISSION RECOMMENDATION

The Planning and Zoning Commission, at its April 10, 2019 meeting, recommended approval of the record plat with a vote of 8 in favor, 0 in opposition, and 0 abstaining.

ATTACHMENTS:

Name:	Description:
Record Plat 1704 David Subdivision.doc	Ordinance
Staff Review-Referral-Action Form.pdf	1704 David Subdivision - Staff RRA Form
Map - 1704 David Subdivision.pdf	1704 David Subdivision - Map
Application - 1704 David Subdivision Record Plat.pdf	1704 David Subdivision - Application
boundary - summit david st 04-11-19.pdf	1704 David Subdivision - Record Plat

BILL NO. 19-68

ORDINANCE NO. _____

AN ORDINANCE APPROVING THE RECORD PLAT OF
1704 DAVID SUBDIVISION

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CAPE GIRARDEAU,
MISSOURI, AS FOLLOWS:

ARTICLE 1. The record plat of 1704 David Subdivision, being a resubdivision of part of Lots 1 and 26 in Block 9 of Suburban Heights as recorded in Plat Book 6 at Page 16 of the County Land Records, in the City and County of Cape Girardeau, State of Missouri, submitted by H & H Investments & Holdings, LLC, bearing the certification of Rodney W. Amos, a Registered Land Surveyor, dated the 18th day of April, 2019, including all variances and exceptions, is hereby approved.

ARTICLE 2. The City Clerk is hereby directed to sign the record plat with the date of Council approval and affix thereto the seal of the City of Cape Girardeau, Missouri.

ARTICLE 3. This ordinance shall be in full force and effect ten days after its passage and approval.

PASSED AND APPROVED THIS _____ DAY OF _____, 2019.

Bob Fox, Mayor

ATTEST:

Bruce Taylor, Deputy City Clerk

CITY OF CAPE GIRARDEAU, MISSOURI
City Staff Review, Referral and Action - Subdivision Application

FILE: 1704 David Subdivision

LOCATION: 1704 David Street

STAFF REVIEW & COMMENTS:

A record plat has been submitted which combines two (2) lots into one parcel at 1704 David Street. SEE STAFF REPORT FOR MORE DETAILS.

By 83il.
City Planner

3/28/19
Date

W. BRIGUNNINGHAM
City Attorney

MARCH 28, 2019
Date

CITY MANAGER REFERRAL TO THE PLANNING AND ZONING COMMISSION:

[Signature]
City Manager

3/28/19
Date

Planning & Zoning Commission

RECOMMENDED ACTION:

	Favor	Oppose	Abstain
Larry Dowdy	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jeff Glenn	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kevin Greaser	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Derek Jackson	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Patrick Koetting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	Favor	Oppose	Abstain
Bruce Skinner	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Doug Spooler	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ed Thompson	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tom Welch	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

VOTE COUNT: 8 Favor 0 Oppose 0 Abstain

COMMENTS:

CITIZENS COMMENTING AT MEETING:

Kevin Greaser
Kevin Greaser
Planning & Zoning Commission Secretary

City Council Action

Ordinance 1st Reading _____ Ordinance 2nd & 3rd Reading: _____

ORDINANCE # _____

Effective Date: _____

1704 David Subdivision



1704 David Subdivision





SUBDIVISION PLAT APPLICATION CITY of CAPE GIRARDEAU

DEVELOPMENT SERVICES DEPARTMENT, 401 INDEPENDENCE ST, CAPE GIRARDEAU, MO 63703 (573) 339-6327

Name of Subdivision 1704 David Subdivision		Type of Plat: Preliminary, Record, or Boundary Adjustment Record Plat	
Applicant H&H Investments & Holdings, LLC		Property Owner of Record (if other than Applicant)	
Mailing Address 1266 Kingsway Dr.	City, State, Zip Cape Girardeau Mo 63701	Mailing Address	City, State, Zip
Telephone 573-579-2176	Email	Telephone	Email
Contact Person (If Applicant is a Business or Organization) Tom Hammontree		<i>(Attach additional owners information, if necessary)</i>	
Professional Engineer/Surveyor (if other than Applicant) Rodney Amos		Developer (if other than Applicant) Summit Contracting	
Mailing Address 194 Coker Ln.	City, State, Zip Cape Girardeau, MO, 63701	Mailing Address 2722 Co Rd 318	City, State, Zip Cape Girardeau Mo 63701
Telephone 573-335-3026	Email ramos@koehlerengineering.com	Telephone 275-1110	Email summitcontracting05@gmail.com

ADDITIONAL ITEMS REQUIRED

See Instructions for more
information.

In addition to this completed application form, the following items must be submitted:

- ☒ Review Fee (payable to City of Cape Girardeau)
 - Single-Family or Two-Family Residential: \$20.00 per lot (\$100.00 minimum)
 - Multi-Family Residential: \$20.00 per dwelling unit (\$100.00 minimum)
 - Non-Residential : \$20.00 per acre (\$100.00 minimum)
- ☒ Recording Fee Deposit (payable to City of Cape Girardeau)

Sheet Size	Record Plat	Boundary Adjustment Plat
18" x 24"	\$44.00	\$24.00
24" x 36"	\$69.00	\$29.00

(The City reserves the right to issue a partial refund or collect an additional fee if the actual recording cost differs from the deposit amount)
- ☒ Two (2) full size prints of the plat
- ☒ Digital file of the plat in .pdf format (can be emailed)

CERTIFICATION

I hereby certify that I am the sole Property Owner of Record or an agent duly authorized by the Property Owner(s) of Record to file this application on their behalf. I acknowledge that plats for subdivisions involving public improvements will be held from City Council review until the improvements are completed and ready for acceptance by the City, or an escrow agreement for the improvements is executed. I further acknowledge that plats for subdivisions involving common land and/or elements require the submission of covenants and a deed ensuring the perpetual maintenance and supervision of the common land and/or elements by trustees prior to recording of the record plat.

Applicant Signature and Printed Name

Date

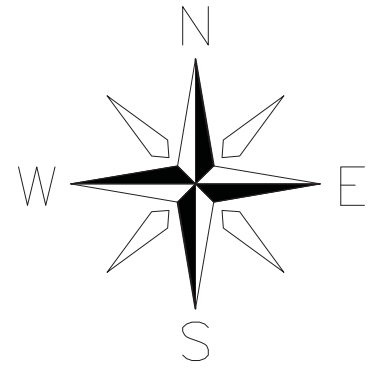
3-6-2019

OFFICE USE ONLY

Date Received & By 3-8-19 cp MUNIS Application No. 85912

Planning & Zoning Commission Recommendation _____ Date _____

City Council Final Action _____ Date _____



NORTH ORIENTATION FROM
MISSOURI STATE PLANE
COORDINATE SYSTEM

RECORD PLAT OF 1704 DAVID SUBDIVISION

A RESUBDIVISION OF PART OF LOTS 1 AND 26 IN BLOCK 9 OF SUBURBAN HEIGHTS AS RECORDED IN PLAT BOOK 6
AT PAGE 16 OF THE COUNTY LAND RECORDS, IN THE CITY AND COUNTY OF CAPE GIRARDEAU, STATE OF MISSOURI.

SUBDIVISION DEDICATION

I, THE UNDERSIGNED, THOMAS HAMMONTREE, OWNER OF H & H INVESTMENTS & HOLDINGS, LLC, A MISSOURI LIMITED LIABILITY COMPANY, OWNER IN FEE OF PART OF LOTS 1 AND 26 IN BLOCK 9 OF SUBURBAN HEIGHTS AS RECORDED IN PLAT BOOK 6 AT PAGE 16 OF THE COUNTY LAND RECORDS, IN THE CITY AND COUNTY OF CAPE GIRARDEAU, STATE OF MISSOURI, DESCRIBED AS FOLLOWS:

THE NORTH 35 FEET OF LOT 1 IN BLOCK 9, PARALLEL TO THE NORTH LINE OF LOT 1, AND THE SOUTH 40 FEET OF LOT 26 IN BLOCK 9, PARALLEL TO THE SOUTH LINE OF LOT 26, AND CONTAINING 0.15 ACRES, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS OF RECORD,

DO HEREBY DECLARE THAT I HAVE CAUSED SAID LAND TO BE SUBDIVIDED INTO A LOT AS NUMBERED AND DESIGNATED ON THIS PLAT, WHICH IS A TRUE AND CORRECT REPRESENTATION OF SAID SUBDIVISION, AND DO HEREBY NAME SAID SUBDIVISION, "1704 DAVID SUBDIVISION".

THOMAS HAMMONTREE
OWNER
H & H INVESTMENTS & HOLDINGS, LLC

STATE OF _____)
COUNTY OF _____)SS

ON THIS _____ DAY OF _____, A.D. 20____, BEFORE ME, A NOTARY PUBLIC FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THOMAS HAMMONTREE, OWNER, H & H INVESTMENTS & HOLDINGS, LLC, A MISSOURI LIMITED LIABILITY COMPANY, WHO IS DULY AUTHORIZED TO EXECUTE THE FOREGOING INSTRUMENT AND ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID LLC.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND AFFIX MY OFFICIAL SEAL

THIS _____ DAY OF _____, A.D. 20____.

MY TERM EXPIRES _____

NOTARY PUBLIC

I, _____, CITY CLERK OF THE CITY OF CAPE GIRARDEAU,

MISSOURI, HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE CITY OF CAPE GIRARDEAU,

MISSOURI, BY ORDINANCE NO. _____

PASSED AND APPROVED THIS _____ DAY OF _____, A.D. 20____.

CITY CLERK OF THE CITY OF CAPE GIRARDEAU, MISSOURI

STATE OF MISSOURI)
COUNTY OF CAPE GIRARDEAU)SS

FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF DEEDS OF CAPE GIRARDEAU

COUNTY, MISSOURI, IN DOCUMENT NO. _____, AT JACKSON, MISSOURI,

ON THE _____ DAY OF _____, A.D. 20____.

ANDREW DAVID BLATTNER
RECORDER OF DEEDS OF CAPE GIRARDEAU COUNTY, MISSOURI

NOTES

SUBDIVISION & LOT SIZES

NO. OF LOTS = 1
TOTAL SUBDIVISION AREA: 6,604 SQ. FT. (0.15 ACRES)
SMALLEST LOT SIZE: 6,604 SQ. FT. (0.15 ACRES)
LARGEST LOT SIZE: 6,604 SQ. FT. (0.15 ACRES)

R-1 ZONING INFORMATION

THE SUBDIVISION IS ZONED R-1, SINGLE FAMILY SUBURBAN RESIDENTIAL DISTRICT
MAXIMUM HEIGHT: TWO AND ONE-HALF (2 1/2) STORIES, NOT TO EXCEED THIRTY-FIVE (35) FEET
MINIMUM LOT AREA: 10,000 SQUARE FEET
MINIMUM LOT WIDTH: EIGHTY (80) FEET
MAXIMUM DENSITY: FOUR (4) UNITS PER ONE (1) ACRE

SETBACKS FOR R-1 DISTRICT

FRONT YARD: THIRTY (30) FEET
REAR YARD: TWENTY-FIVE (25) FEET
SIDE YARD: SIX (6) FEET

VARIANCE NOTE

VARIANCES ARE SHOWN FOR REDUCED LOT AREA AND WIDTH FOR LOT 1

EXCEPTION NOTE

AN EXCEPTION IS SHOWN FOR THE OMISSION OF THE REQUIRED 10 FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES OF LOT 1

FLOODPLAIN NOTE

NO PORTION OF THE PROPERTY FALLS WITHIN THE 100 YEAR FLOODPLAIN, AS INDICATED ON THE FLOOD INSURANCE RATE MAP
COMMUNITY PANEL NO. 29031C0254E WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2011

OWNER AND DEVELOPER OF SUBDIVISION AND PLAT PREPARED FOR:

H & H INVESTMENTS & HOLDINGS, LLC (LOT 1)
DOC. NO. 2018-09796

PLAT PREPARED BY AND ENGINEERING AND LAND SURVEYING SERVICES PROVIDED BY:

KOEHLER ENGINEERING AND LAND SURVEYING, INC.
194 COKER LANE
CAPE GIRARDEAU, MO 63701
(573) 335-3026

Legend

- = FOUND 1/2" IRON ROD
- = SET 1/2" IRON ROD
- = PIPE
- ⊕ = CUT CROSS
- = SUBDIVISION BOUNDARY LINE
- - - = CENTERLINE
- . - . - = PARCEL LINE
- - - - - = LOT LINE TO BE ELIMINATED
- - - - - = LOT LINE TO REMAIN
- = BUILDING SETBACK LINE
- - - - - = RIGHT OF WAY LINE

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

KEYED NOTES

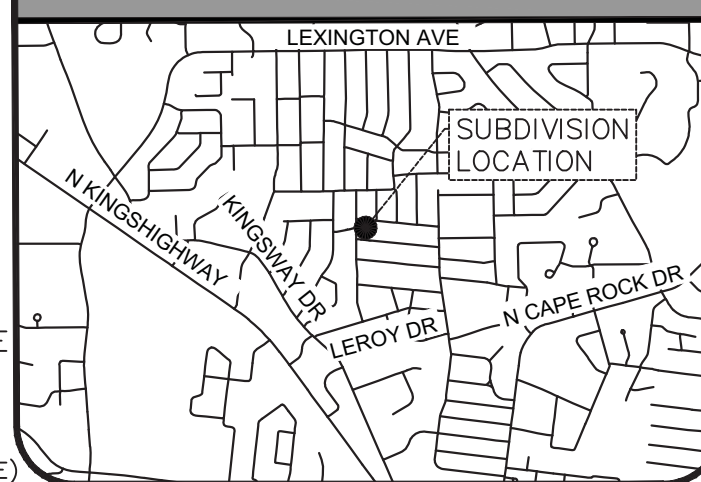
- | ITEM | NOTE |
|------|-------------------|
| A | 30' FRONT SETBACK |
| B | 25' REAR SETBACK |
| C | 6' SIDE SETBACK |

THIS SURVEY OF A TRACT OF URBAN PROPERTY WAS PERFORMED IN ACCORDANCE WITH THE CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS IN THE STATE OF MISSOURI AS MADE EFFECTIVE JUNE 30, 2017.



(NOT TO SCALE)

VICINITY MAP



KOEHLER

Professional Engineers & Land Surveyors

194 Coker Lane
Cape Girardeau, Missouri 63701
Ph: (573) 335 - 3026 Fax: (573) 335 - 3049
PLS CORPORATE LICENSE NO. 000262

DRAWN BY:	ASHTON GASKILL	REV/DATE	DESCRIPTION	INITIALS
CHECKED BY:	RODNEY AMOS	04.08.19	ADDRESSED CITY COMMENTS	AG
SURVEY DATE:	FEBRUARY 2019	04.11.19	ADDRESSED CITY COMMENTS	AG
DRAWING DATE:	03/05/2019			
DRAWING NO:	37396			

Staff: Ryan Shrimplin, AICP - City
Agenda: Planner
5/6/2019

SUBJECT

An Ordinance approving the Record Plat of C & T Seib Subdivision.

EXECUTIVE SUMMARY

The attached ordinance approves a record plat for combining two tracts at 1615 Madison Street.

BACKGROUND/DISCUSSION

A record plat has been submitted for C & T Seib Subdivision, located at 1615 Madison Street. The property is zoned R-1 (Single-Family Suburban Residential). The plat combines two (2) tracts to form one (1) new lot. The plat shows an exception for the omission of the required ten (10) foot utility easement along the front and rear lot lines. Staff supports the exception because there are no existing or proposed City utilities in the locations where the easement is required.

STAFF RECOMMENDATION

The staff report to the Planning and Zoning Commission recommended approval of the record plat.

BOARD OR COMMISSION RECOMMENDATION

The Planning and Zoning Commission, at its April 10, 2019 meeting, recommended approval of the record plat with a vote of 8 in favor, 0 in opposition, and 0 abstaining.

ATTACHMENTS:

Name:	Description:
Record Plat C & T Seib Subdivision.doc	Ordinance
Staff Review-Referral-Action Form.pdf	C & T Seib Subdivision - Staff RRA Form
Map - C & T Seib Subdivision.pdf	C & T Seib Subdivision - Map
Application - C & T Seib Subd Record Plat.pdf	C & T Seib Subdivision - Application
s19020-REVISED.pdf	C & T Seib Subdivision - Record Plat

BILL NO. 19-69

ORDINANCE NO. _____

AN ORDINANCE APPROVING THE RECORD PLAT OF
C & T SEIB SUBDIVISION

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CAPE GIRARDEAU,
MISSOURI, AS FOLLOWS:

ARTICLE 1. The record plat of C & T Seib Subdivision, being a re-subdivision of Lot Nos. 8 & 9, Grants Subdivision as recorded in Plat Book No. 5 at Page No. 6 of the land records of the County Records office, City and County of Cape Girardeau, State of Missouri, submitted by Brolan Properties, LLC, and 1615 Madison, LLC, bearing the certification of R. Christopher Bowen, a Registered Land Surveyor, dated the 10th day of April, 2019, including all variances and exceptions, is hereby approved.

ARTICLE 2. The City Clerk is hereby directed to sign the record plat with the date of Council approval and affix thereto the seal of the City of Cape Girardeau, Missouri.

ARTICLE 3. This ordinance shall be in full force and effect ten days after its passage and approval.

PASSED AND APPROVED THIS _____ DAY OF _____, 2019.

Bob Fox, Mayor

ATTEST:

Bruce Taylor, Deputy City Clerk

CITY OF CAPE GIRARDEAU, MISSOURI
City Staff Review, Referral and Action - Subdivision Application

FILE: C & T Seib Subdivision

LOCATION: 1615 Madison Street

STAFF REVIEW & COMMENTS:

A record plat has been submitted which combines two (2) lots into one parcel at 1615 Madison Street. SEE STAFF REPORT FOR MORE DETAILS.

By SFL
City Planner

3/28/19
Date

W. RIC JENNINGS
City Attorney

MARCH 28, 2019
Date

CITY MANAGER REFERRAL TO THE PLANNING AND ZONING COMMISSION:

[Signature]
City Manager

3/28/19
Date

Planning & Zoning Commission

RECOMMENDED ACTION:

	Favor	Oppose	Abstain
Larry Dowdy	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jeff Glenn	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kevin Greaser	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Derek Jackson	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Patrick Koetting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	Favor	Oppose	Abstain
Bruce Skinner	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Doug Spooler	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ed Thompson	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tom Welch	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

VOTE COUNT:

4 Favor

0 Oppose

0 Abstain

COMMENTS:

CITIZENS COMMENTING AT MEETING:

Kevin Greaser
Kevin Greaser
Planning & Zoning Commission Secretary

City Council Action

Ordinance 1st Reading _____ Ordinance 2nd & 3rd Reading: _____

ORDINANCE # _____

Effective Date: _____

C & T Seib Subdivision





SUBDIVISION PLAT APPLICATION CITY of CAPE GIRARDEAU

DEVELOPMENT SERVICES DEPARTMENT, 401 INDEPENDENCE ST, CAPE GIRARDEAU, MO 63703 (573) 339-6327

Name of Subdivision C & T SEIB SUBDIVISION		Type of Plat: Preliminary, Record, or Boundary Adjustment Record Plat	
Applicant Chris Seib		Property Owner of Record (if other than Applicant)	
Mailing Address 5 Day Daybreak Estates	City, State, Zip St. Louis, MO 63128	Mailing Address	City, State, Zip
Telephone 314-650-9839	Email Stlavelon@aol.com	Telephone	Email
Contact Person (If Applicant is a Business or Organization) Chris Seib		<i>(Attach additional owners information, if necessary)</i>	
Professional Engineer/Surveyor (if other than Applicant) Chris Kelley, Bowen Engineering and Surveying, P.C.		Developer (if other than Applicant)	
Mailing Address 2121 Megan Drive	City, State, Zip Cape Gir. MO 63701	Mailing Address	City, State, Zip
Telephone (573)339-5900	Email chriskelley@bowenengsurv.com	Telephone	Email

ADDITIONAL ITEMS REQUIRED

See Instructions for more
information.

In addition to this completed application form, the following items must be submitted:

- ☒ Review Fee (payable to City of Cape Girardeau)
 - Single-Family or Two-Family Residential: \$20.00 per lot (\$100.00 minimum)
 - Multi-Family Residential: \$20.00 per dwelling unit (\$100.00 minimum)
 - Non-Residential : \$20.00 per acre (\$100.00 minimum)
- ☒ Recording Fee Deposit (payable to City of Cape Girardeau)

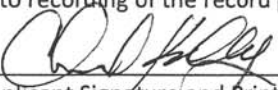
Sheet Size	Record Plat	Boundary Adjustment Plat
18" x 24"	\$44.00	\$24.00
24" x 36"	\$69.00	\$29.00

(The City reserves the right to issue a partial refund or collect an additional fee if the actual recording cost differs from the deposit amount)

- ☒ Two (2) full size prints of the plat
- ☐ Digital file of the plat in .pdf format (can be emailed)

CERTIFICATION

I hereby certify that I am the sole Property Owner of Record or an agent duly authorized by the Property Owner(s) of Record to file this application on their behalf. I acknowledge that plats for subdivisions involving public improvements will be held from City Council review until the improvements are completed and ready for acceptance by the City, or an escrow agreement for the improvements is executed. I further acknowledge that plats for subdivisions involving common land and/or elements require the submission of covenants and a deed ensuring the perpetual maintenance and supervision of the common land and/or elements by trustees prior to recording of the record plat.


Applicant Signature and Printed Name

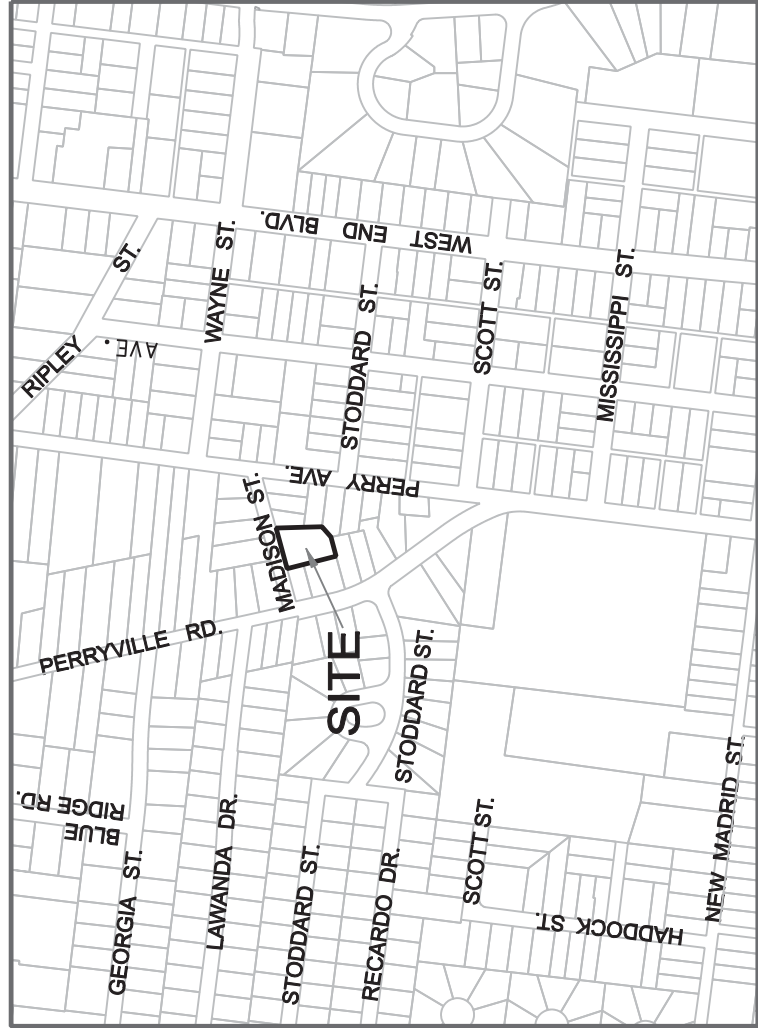
3/20/19
Date

OFFICE USE ONLY

Date Received & By 3/20/18 MUNIS Application No. 8642

Planning & Zoning Commission Recommendation _____ Date _____

City Council Final Action _____ Date _____



LOCATION MAP

SURVEY NOTES

THIS SURVEY CREATES A 1 LOT SUBDIVISION FROM THE PARENT TRACT RECORDED IN DOCUMENT NO. 2019-00281

MEASURED DIMENSIONS SHOWN WITHOUT PARENTHESES DEED OR RECORD DIMENSIONS SHOWN WITH PARENTHESES

BASIS OF SURVEY DATUM - NAD83, M.S.P.C. ZONE 2401 EAST
CORS STATION MOJK OF THE MoDOT GPS RTK NETWORK

LATITUDE	37°24'44.458833"	NORTH
LONGITUDE	089°39'00.22114"	WEST
ELLIPSOID HEIGHT	383.98	U.S. SURVEY FEET
NORTHING	575,956.0987	U.S. SURVEY FEET
EASTING	1,067,057.151	U.S. SURVEY FEET
ELEVATION	477.03	U.S. SURVEY FEET

AS PUBLISHED ON NATIONAL GEODETIC DATA SHEETS,
RETRIEVAL DATE FEBRUARY 04, 2015 AND CONVERTED
FROM METERS TO U.S. SURVEY FEET.

SURVEY CLASS - URBAN

AN EXCEPTION IS SHOWN FOR THE OMISSION OF THE REQUIRED
10 FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT
LINES OF LOT NO. 1.

REFERENCES

RECORD PLAT OF GRANT'S SUBDIVISION AS RECORDED IN
PLAT BOOK NO. 5 AT PAGE NO. 6

GENERAL WARRANTY DEED, BOOK NO. 406 - PAGE NO. 342
GENERAL WARRANTY DEED, BOOK NO. 1120 - PAGE NO. 368
GENERAL WARRANTY DEED, DOCUMENT NO. 2008-14611
GENERAL WARRANTY DEED, DOCUMENT NO. 2013-07275
GENERAL WARRANTY DEED, DOCUMENT NO. 2017-05543
GENERAL WARRANTY DEED, DOCUMENT NO. 2017-12294
GENERAL WARRANTY DEED, DOCUMENT NO. 2019-00281

ONLINE MAPPING RECORDS FOR CAPE GIRARDEAU COUNTY,
[HTTP://GIS.CAPECOUNTY.US/TAXPARCELVIEWER/](http://gis.capecounty.us/taxparcelviewer/)

FLOOD ZONE NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X, AN
AREA OUTSIDE THE 100 YEAR FLOOD ZONE AS DELINEATED
ON THE FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL
NUMBER 2904580258 E, WHICH BEARS AN EFFECTIVE DATE OF
SEPTEMBER 29, 2011.

N



SURVEY MONUMENT NOTES

- ☆- FOUND AXLE
- ⊙- FOUND 1/2" IRON PIN
- SET 1/2" IRON PIN

GRAPHIC SCALE



RECORD PLAT

C & T SEIB SUBDIVISION

A RE-SUBDIVISION OF LOT NOS. 8 & 9, GRANT'S SUBDIVISION AS RECORDED IN
PLAT BOOK NO. 5 AT PAGE NO. 6 OF THE LAND RECORDS OF THE COUNTY RECORDER'S OFFICE,
CITY AND COUNTY OF CAPE GIRARDEAU, MISSOURI

ZONING INFORMATION

ZONING: R-1- SINGLE FAMILY SUBURBAN RESIDENTIAL DISTRICT

NUMBER OF LOTS = 1

TOTAL AREA OF SUBDIVISION = 0.46 ACRES

MAX. HEIGHT: 2-1/2 STORIES NOT TO EXCEED 35 FEET

MIN. LOT AREA: 10,000 SQ. FEET

MIN. LOT WIDTH: 80 FEET

MIN. YARD REQUIREMENTS:

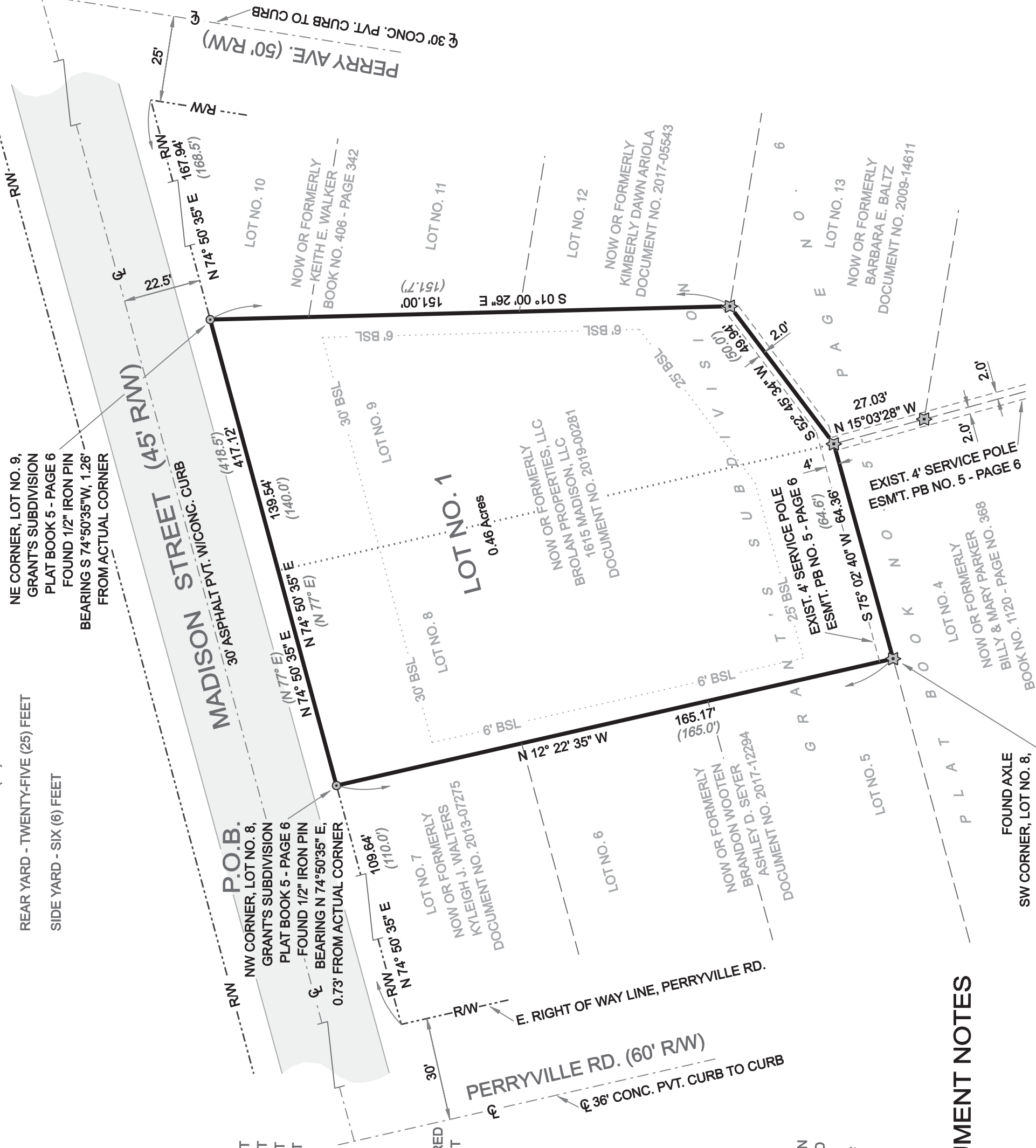
FRONT YARD - THIRTY (30) FEET

REAR YARD - TWENTY-FIVE (25) FEET

SIDE YARD - SIX (6) FEET

LEGEND

- CENTERLINE
- EDGE OF PAVEMENT
- RIGHT OF WAY LINE
- SUBDIVISION BOUNDARY LINE
- ADJOINER'S PROPERTY LINE
- LOT LINE TO BE ELIMINATED
- BUILDING SETBACK LINE
- EXIST. UTILITY EASEMENT
- BSL



STATE OF MISSOURI
COUNTY OF CAPE GIRARDEAU) ss

FILED FOR RECORD THIS DAY OF, 2019 A.D.
AND DULY RECORDED IN DOCUMENT NO.

ANDREW DAVID BLATTNER, CAPE GIRARDEAU COUNTY RECORDER OF DEEDS

SUBDIVISION DEDICATION

WE, THE UNDERSIGNED, BROLAN PROPERTIES, LLC, A MISSOURI LIMITED LIABILITY COMPANY AND 1615 MADISON, LLC, A MISSOURI LIMITED LIABILITY COMPANY, OWNERS OF LOT NOS. 8 & 9, GRANT'S SUBDIVISION AS RECORDED IN PLAT BOOK NO. 5 AT PAGE NO. 6 OF THE LAND RECORDS OF THE COUNTY RECORDER'S OFFICE, CITY AND COUNTY OF CAPE GIRARDEAU, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT NO. 8, SAID POINT BEING ON THE SOUTH RIGHT OF WAY LINE OF MADISON STREET; THENCE N 74° 50' 35" E, 139.54 FEET ALONG SAID SOUTH RIGHT OF WAY LINE TO THE NORTHEAST CORNER OF LOT NO. 9; THENCE S 01° 00' 26" E, 151.00 FEET TO THE NORTHWESTERLY CORNER OF LOT NO. 13; THENCE S 52° 45' 34" W, 49.94 FEET ALONG THE WEST LINE OF LOT NO. 13 TO THE NORTHEAST CORNER OF LOT NO. 4; THENCE S 75° 02' 40" W, 64.36 FEET ALONG THE NORTH LINE OF LOT NO. 4 TO THE SOUTHWEST CORNER OF LOT NO. 8; THENCE N 12° 22' 35" W, 165.17 FEET ALONG THE WEST LINE OF LOT NO. 8 TO THE POINT OF BEGINNING, CONTAINING 0.46 ACRES, MORE OR LESS.

HEREBY DECLARE THAT WE HAVE CAUSED SAID LAND TO BE SUBDIVIDED INTO A LOT AS NUMBERED AND DESIGNATED ON THIS PLAT, AND DO HEREBY NAME SAID SUBDIVISION, "C & T SEIB SUBDIVISION".

IN WITNESS WHEREOF, SIGNED THIS DAY OF 20..... A.D.

TRAVIS SEIB, OFFICER
BROLAN PROPERTIES, LLC, A MISSOURI LIMITED LIABILITY COMPANY

CHRISTOPHER SEIB, OFFICER
1615 MADISON, LLC, A MISSOURI LIMITED LIABILITY COMPANY

STATE OF MISSOURI
COUNTY OF } ss

BEFORE ME, A NOTARY PUBLIC FOR SAID STATE AND COUNTY, APPEARED TRAVIS SEIB, OFFICER OF BROLAN PROPERTIES, LLC, A MISSOURI LIMITED LIABILITY COMPANY AND CHRISTOPHER SEIB, OFFICER OF 1615 MADISON, LLC, A MISSOURI LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSONS DESCRIBED HEREIN, WHO DID EXECUTE THE FOREGOING INSTRUMENT AND WHO ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THE FREE ACT AND DEED OF SAID COMPANIES.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND AFFIX MY OFFICIAL SEAL THIS DAY OF, 20..... A.D.

NOTARY PUBLIC MY TERM EXPIRES

I,, CITY CLERK OF THE CITY OF CAPE GIRARDEAU, MISSOURI, HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF CAPE GIRARDEAU, MISSOURI BY ORDINANCE NO. PASSED AND APPROVED THIS DAY OF 20..... A.D.

CITY CLERK OF THE CITY OF CAPE GIRARDEAU, MISSOURI

STATE OF MISSOURI
COUNTY OF CAPE GIRARDEAU) ss

THIS IS TO CERTIFY THAT AT THE REQUEST OF CHRIS SEIB THE TRACT SHOWN HEREON WAS SURVEYED UNDER MY DIRECT SUPERVISION, AND THE RESULTS OF SAID SURVEY ARE REPRESENTED CORRECTLY ON THIS PLAT. SAID SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS OF THE MISSOURI DEPARTMENT OF AGRICULTURE, DIVISION OF WEIGHTS AND MEASURES. THERE MAY EXIST OTHER DOCUMENTS THAT COULD AFFECT THIS PARCEL, OF WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. IN WITNESS WHEREOF, I HEREUNTO SET MY SEAL AND SIGNATURE

THIS 4th DAY OF April, 2019 A.D.

R. CHRISTOPHER BOWEN MO. P.L.S. #2232

FOR REVIEW

Bowen
ENGINEERING & SURVEYING
Consulting Engineers • Land Surveyors • Testing Laboratories

2121 Megan Drive
Cape Girardeau, MO 63701
Ph. 573 339 5900
Fax 573 339 1391
www.bowensurv.com

Bowen Engineering & Surveying, P.C.
Engineering Corporation - Missouri State Certificate of Authority #000383
Land Surveying Corporation - Missouri State Certificate of Authority #00166

RECORD PLAT
C & T SEIB SUBDIVISION
CHRIS SEIB
5 DAYBREAK ESTATES
ST. LOUIS, MO 63128

DESCRIPTION	DATE

Copyright © 2019 by
Bowen Engineering & Surveying, P.C.

JOB NO.	S19-020
DATE	APRIL 04, 2019
FILE	S19020.DGN
CAICE	S19020.ZIP
DWN BY	JAR
CKD BY	CKK
SCALE	1" = 30'

RECORD
PLAT

SHEET NO.
1 of 1

Staff: Ryan Shrimplin, AICP - City Planner
Agenda: 5/6/2019

SUBJECT

An Ordinance approving the Record Plat of The Estates at Hopper Crossing.

EXECUTIVE SUMMARY

The attached ordinance approves a record plat for a resubdivision of two tracts on Hopper Road.

BACKGROUND/DISCUSSION

A record plat has been submitted for The Estates at Hopper Crossing, located on the north side of Hopper Road, west of North Mt. Auburn Road. The property is zoned R-1 (Single-Family Suburban Residential). The plat consists of two tracts being resubdivided to form two new lots.

STAFF RECOMMENDATION

The staff report to the Planning and Zoning Commission recommended approval of the record plat.

BOARD OR COMMISSION RECOMMENDATION

The Planning and Zoning Commission, at its July 11, 2018 meeting, recommended approval of the record plat with a vote of 8 in favor, 0 in opposition, and 0 abstaining.

ATTACHMENTS:

Name:	Description:
Record Plat The Estates at Hopper Crossing.doc	Ordinance
Staff Review-Referral-Action Form.pdf	The Estates at Hopper Crossing - Staff RRA Form
Map - Estates at Hopper Crossing.pdf	The Estates at Hopper Crossing - Map
Application - Estates at Hopper Crossing Record Plat.pdf	The Estates at Hopper Crossing - Application
36878 The Estates At Hopper Crossing - Final Plat rev 03-19-2019-Record Plat.pdf	The Estates at Hopper Crossing - Record Plat

BILL NO. 19-72

ORDINANCE NO. _____

AN ORDINANCE APPROVING THE RECORD PLAT OF THE
ESTATES AT HOPPER CROSSING

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CAPE GIRARDEAU,
MISSOURI, AS FOLLOWS:

ARTICLE 1. The record plat of The Estates at Hopper Crossing, being that part of the east half of the northwest quarter of Section 35, Township 31 North, Range 13 East of the Fifth Principal Meridian, in the City and County of Cape Girardeau, State of Missouri, submitted by Mark D. Busch and Vicky L. Busch, bearing the certification of Travis J. Steffens, a Registered Land Surveyor, dated the 11th day of April, 2019, is hereby approved.

ARTICLE 2. The City Clerk is hereby directed to sign the record plat with the date of Council approval and affix thereto the seal of the City of Cape Girardeau, Missouri.

ARTICLE 3. This ordinance shall be in full force and effect ten days after its passage and approval.

PASSED AND APPROVED THIS _____ DAY OF _____, 2019.

Bob Fox, Mayor

ATTEST:

Bruce Taylor, Deputy City Clerk

CITY OF CAPE GIRARDEAU, MISSOURI
City Staff Review, Referral and Action - Subdivision Application

FILE: **The Estates at Hopper Crossing**

LOCATION: Hopper Road

STAFF REVIEW & COMMENTS:

A record plat has been submitted to create a new two (2) lot subdivision along Hopper Road. SEE STAFF REPORT FOR MORE DETAILS.

By 852.
City Planner

7/2/18
Date

W. ERIC LUNNINGHAM
City Attorney

JULY 3, 2018
Date

CITY MANAGER REFERRAL TO THE PLANNING AND ZONING COMMISSION:

Molly B. Mehner
City Manager

July 3, 2018
Date

Planning & Zoning Commission

RECOMMENDED ACTION:

	Favor	Oppose	Abstain
Trae Bertrand	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Larry Dowdy	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jeff Glenn	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kevin Greaser	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Patrick Koetting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	Favor	Oppose	Abstain
Scott McClanahan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Bruce Skinner	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Doug Spooler	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tom Welch	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

VOTE COUNT: 8 Favor 0 Oppose 0 Abstain

COMMENTS:

CITIZENS COMMENTING AT MEETING:

Jeff Glenn
Kevin Greaser **Jeff Glenn**
Planning & Zoning Commission **Chairman**

City Council Action

Ordinance 1st Reading _____ Ordinance 2nd & 3rd Reading: _____

ORDINANCE # _____

Effective Date: _____

The Estates at Hopper Crossing Record Plat





SUBDIVISION PLAT APPLICATION
CITY of CAPE GIRARDEAU

DEVELOPMENT SERVICES DEPARTMENT, 401 INDEPENDENCE ST, CAPE GIRARDEAU, MO 63703 (573) 339-6327

Name of Subdivision The Estates at Hopper Crossing		Type of Plat: Preliminary, Record, or Boundary Adjustment Record	
Applicant SEMO Development LLC		Property Owner of Record (if other than Applicant)	
Mailing Address 2480 Benton Hill Rd	City, State, Zip Cape Girardeau Mo 63701	Mailing Address	City, State, Zip
Telephone 573-204-1000	Email mkpetersenterprises@gmail.com	Telephone	Email
Contact Person (If Applicant is a Business or Organization) Mike Peters		<i>(Attach additional owners information, if necessary)</i>	
Professional Engineer/Surveyor (if other than Applicant) Chris Koehler		Developer (if other than Applicant)	
Mailing Address 194 Coker Ln	City, State, Zip Cape Girardeau Mo 63701	Mailing Address	City, State, Zip
Telephone 573-651-6464	Email ckoehler@koehlerengineering.com	Telephone	Email

**ADDITIONAL ITEMS
REQUIRED**

See Instructions for more
information.

In addition to this completed application form, the following items must be submitted:

- ☐ Review Fee (payable to City of Cape Girardeau)
 - Single-Family or Two-Family Residential: \$20.00 per lot (\$100.00 minimum)
 - Multi-Family Residential: \$20.00 per dwelling unit (\$100.00 minimum)
 - Non-Residential : \$20.00 per acre (\$100.00 minimum)
- ☐ Recording Fee Deposit (payable to City of Cape Girardeau)

Sheet Size	Record Plat	Boundary Adjustment Plat
18" x 24"	\$44.00	\$24.00
24" x 36"	\$69.00	\$29.00

(The City reserves the right to issue a partial refund or collect an additional fee if the actual recording cost differs from the deposit amount)
- ☐ Two (2) full size prints of the plat
- ☐ Digital file of the plat in .pdf format (can be emailed)

CERTIFICATION

I hereby certify that I am the sole Property Owner of Record or an agent duly authorized by the Property Owner(s) of Record to file this application on their behalf. I acknowledge that plats for subdivisions involving public improvements will be held from City Council review until the improvements are completed and ready for acceptance by the City, or an escrow agreement for the improvements is executed. I further acknowledge that plats for subdivisions involving common land and/or elements require the submission of covenants and a deed ensuring the perpetual maintenance and supervision of the common land and/or elements by trustees prior to recording of the record plat.

Applicant Signature and Printed Name

6-20-18
Date

OFFICE USE ONLY	
Date Received & By <u>6/20/18</u>	MUNIS Application No. <u>7815</u>
Planning & Zoning Commission Recommendation _____	Date _____
City Council Final Action _____	Date _____



NORTH ORIENTATION FROM
MISSOURI STATE PLANE
COORDINATE SYSTEM

RECORD PLAT OF THE ESTATES AT HOPPER CROSSING

THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 35,
TOWNSHIP 31 NORTH, RANGE 13 EAST OF THE FIFTH PRINCIPAL MERIDIAN, IN THE CITY
AND COUNTY OF CAPE GIRARDEAU, STATE OF MISSOURI

SUBDIVISION DEDICATION

THE UNDERSIGNED, MARK D. & VICKY L. BUSCH, HUSBAND AND WIFE, OWNERS IN FEE OF THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 31 NORTH, RANGE 13 EAST OF THE FIFTH PRINCIPAL MERIDIAN, IN THE CITY AND COUNTY OF CAPE GIRARDEAU, STATE OF MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A FOUND $\frac{1}{2}$ " DIAMETER IRON ROD AT THE SOUTHWEST CORNER OF LOT 1 OF IRIS'S FIRST SUBDIVISION AS RECORDED IN PLAT BOOK 18 AT PAGE 15 OF THE COUNTY LAND RECORDS; THENCE WITH THE WEST LINE OF SAID LOT 1, NORTH $01^{\circ}21'14''$ WEST, 188.30 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF HOPPER ROAD BEING THE POINT OF BEGINNING; THENCE WITH SAID NORTH RIGHT OF WAY LINE, ALONG THE ARC OF A NON-TANGENT CURVE TO THE NORTHWEST BEING CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 542.96 FEET, A DISTANCE OF 67.68 FEET (THE CHORD OF SAID ARC BEARS NORTH $41^{\circ}29'55''$ WEST, 67.64 FEET); THENCE NORTH $37^{\circ}55'39''$ WEST, 226.79 FEET; THENCE WITH THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 930.00 FEET, A DISTANCE OF 398.22 FEET (THE CHORD OF SAID ARC BEARS NORTH $50^{\circ}11'39''$ WEST, 395.19 FEET); THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, NORTH $04^{\circ}14'10''$ EAST, 110.18 FEET TO THE SOUTHWEST CORNER OF SUMMIT ESTATES AS RECORDED IN PLAT BOOK 16 AT PAGE 6 OF SAID LAND RECORDS; THENCE WITH THE SOUTH LINE OF LOTS 1 AND 2 OF SAID SUMMIT ESTATES SUBDIVISION, NORTH $89^{\circ}09'10''$ EAST, 465.55 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 35, BEING ON THE WEST LINE OF SAID IRIS'S FIRST SUBDIVISION; THENCE WITH SAID WEST LINE, SOUTH $01^{\circ}21'14''$ EAST, 599.47 FEET TO THE POINT OF BEGINNING AND CONTAINING 3.48 ACRES, MORE OR LESS, BEING SUBJECT TO ANY EASEMENTS OF RECORD, DO HEREBY SUBDIVIDE SAID TRACT INTO LOTS AS SHOWN HEREON, AND DO HEREBY NAME SAID SUBDIVISION "THE ESTATES AT HOPPER CROSSING". THE UTILITY EASEMENTS SHOWN HEREON ARE HEREBY GRANTED TO THE CITY OF CAPE GIRARDEAU, MISSOURI IN PERPETUITY FOR PUBLIC PURPOSES, INCLUDING THE INSTALLATION, MAINTENANCE, REPAIR, REPLACEMENT, AND EXPANSION OF CITY WATER AND SEWER SYSTEMS, AND AS MAY BE AUTHORIZED BY THE CITY OF CAPE GIRARDEAU, MISSOURI TO BE USED BY A PUBLIC OR PRIVATE UTILITY PROVIDER FOR PURPOSES RELATED TO THE INSTALLATION, MAINTENANCE, REPAIR, REPLACEMENT, AND EXPANSION OF SUCH UTILITY SYSTEMS.

MARK D. BUSCH

VICKY L. BUSCH

STATE OF MISSOURI

COUNTY OF CAPE GIRARDEAU

SS

ON THIS _____ DAY OF _____, A.D. 20____, BEFORE ME, A NOTARY PUBLIC FOR SAID COUNTY AND STATE, PERSONALLY APPEARED MARK D. BUSCH AND VICKY L. BUSCH, HUSBAND AND WIFE, TO ME KNOWN TO BE THE PERSONS DESCRIBED HEREIN, WHO EXECUTED THE FOREGOING INSTRUMENT AS THEIR FREE ACT AND DEED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND AFFIX MY OFFICIAL SEAL IN THE COUNTY AND STATE AFORESAID, THE DATE FIRST ABOVE WRITTEN.

MY TERM EXPIRES _____

NOTARY PUBLIC

I, _____, CITY CLERK OF THE CITY OF CAPE GIRARDEAU, MISSOURI, HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE CITY OF CAPE GIRARDEAU, MISSOURI, BY ORDINANCE NO. _____, PASSED AND APPROVED THIS _____ DAY OF _____, A.D. 20____.

CITY CLERK, CITY OF CAPE GIRARDEAU, MISSOURI

STATE OF MISSOURI
COUNTY OF CAPE GIRARDEAU

FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF DEEDS OF CAPE GIRARDEAU COUNTY, MISSOURI, IN DOCUMENT NO. _____, AT JACKSON, MISSOURI, ON THE _____ DAY OF _____, A.D. 20____.

ANDREW DAVID BLATTNER
RECORDER OF DEEDS OF CAPE GIRARDEAU COUNTY, MISSOURI

SUBDIVISION NOTES

ZONING & SETBACK REGULATIONS

R-1 - SINGLE-FAMILY SUBURBAN
RESIDENTIAL DISTRICT
MINIMUM LOT AREA: 10,000 SQ. FT.
MINIMUM LOT WIDTH: 80 FT.
MAXIMUM DENSITY: 4 UNITS/ACRE
MAXIMUM HEIGHT: 2½ STORIES, NOT TO
EXCEED 35 FT.
FRONT SETBACK: 30 FT.
REAR SETBACK: 25 FT.
SIDE SETBACK: 6 FT.

AREA AND LOT INFORMATION

TOTAL SUBDIVISION AREA: 151,678 SQ. FT. (3.48 ACRES)
TOTAL NUMBER OF LOTS: 2
SMALLEST LOT SIZE: 74,383 SQ. FT. (1.71 ACRES)
LARGEST LOT SIZE: 77,295 SQ. FT. (1.77 ACRES)

RECORD OWNERS

MARK D. & VICKY L. BUSCH
DOC. NO. 2018-06969

DEVELOPER OF SUBDIVISION AND PLAT PREPARED FOR:

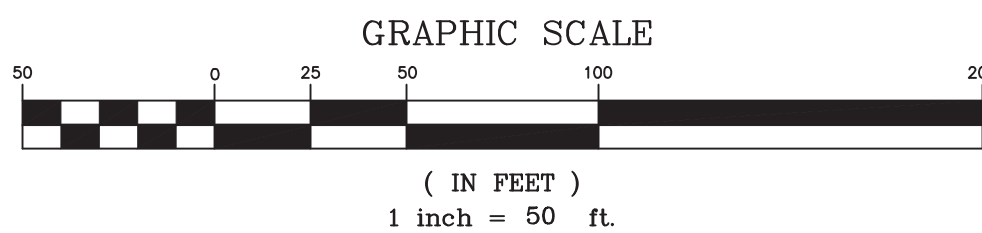
SEMO DEVELOPMENT, LLC
C/O: MR. MIKE PETERS, MANAGING MEMBER
2480 BENTON HILL ROAD
CAPE GIRARDEAU, MO 63701
- AND -
MARK D. & VICKY L. BUSCH
3155 BEAVER CREEK DRIVE
CAPE GIRARDEAU, MO 63701

FLOODPLAIN NOTE

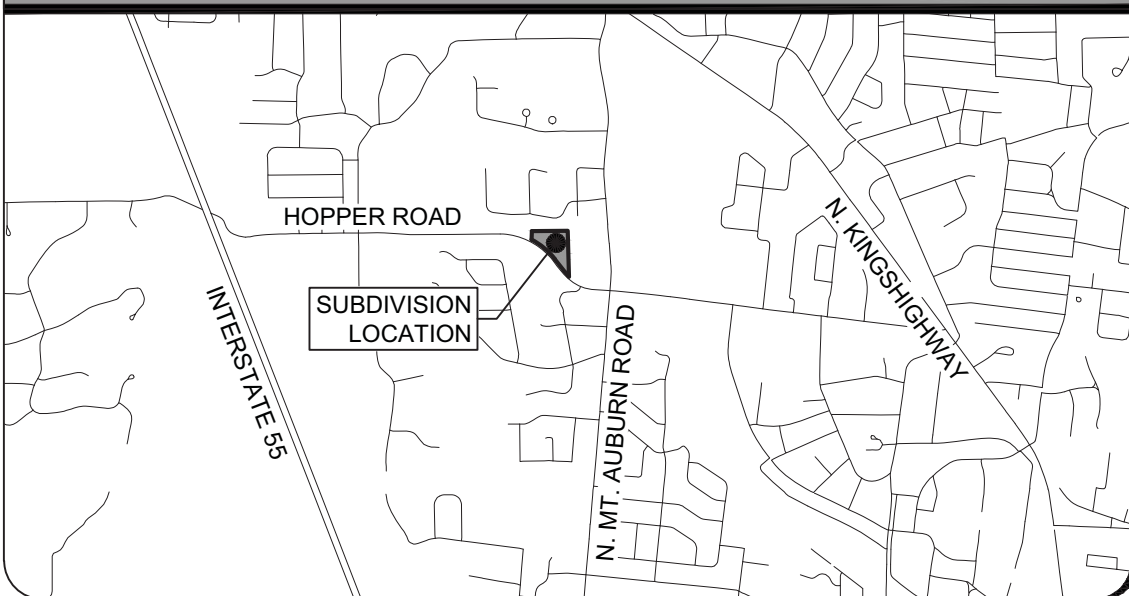
NO PORTION OF THE PROPERTY FALLS WITHIN THE
SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION
BY THE 1% ANNUAL CHANCE FLOOD, AS INDICATED ON
THE FLOOD INSURANCE RATE MAP NUMBER 29031C0254E
WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2011.

PLAT PREPARED BY AND LAND SURVEYING SERVICES PROVIDED BY:

KOEHLER ENGINEERING AND LAND SURVEYING, INC.
194 COKER LANE
CAPE GIRARDEAU, MO 63701
(573) 335-3026



VICINITY MAP



LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S01° 21' 14"E	105.76'
L2	S11° 52' 59"E	15.00'
L3	S15° 12' 27"W	31.53'
L4	S39° 17' 55"E	6.35'
L5	S49° 28' 32"E	19.97'

LEGEND

- = SET $\frac{1}{2}$ " IRON ROD
- = FOUND IRON ROD
- = FOUND STONE
- = SUBDIVISION BOUNDARY
- - - = ADJOINING PROPERTY LINE
- - - = RIGHT OF WAY LINE
- - - = PROPOSED LOT LINE
- - - = PROPOSED EASEMENT LINE
- - - = EXISTING EASEMENT LINE
- - - = LOT LINE TO BE ELIMINATED
- - - = BUILDING SETBACK LINE

THIS SURVEY OF A TRACT OF URBAN PROPERTY WAS PERFORMED IN ACCORDANCE WITH THE
CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS IN THE STATE OF
MISSOURI AS MADE EFFECTIVE JUNE 30, 2017.

KOEHLER

Professional Engineers & Land Surveyors

194 Coker Lane
Cape Girardeau, Missouri 63701
Ph: (573) 335 - 3026 Fax: (573) 335 - 3049

DRAWN BY:	DYLAN HOUSE	REV/DATE	DESCRIPTION	INITIAL
CHECKED BY:	CHRIS KOEHLER	03/05/19	ADDRESS CITY COMMENTS	MG
SURVEY DATE:	OCTOBER 2017	03/15/19	REV. CURRENT OWNERSHIP	MG
DRAWING DATE:	JUNE 20, 2018	03/19/19	ADDRESS CITY COMMENTS	MG
DRAWING NO:	36878			

Staff: Ryan Shrimplin, AICP - City Planner
Agenda: 5/6/2019

SUBJECT

An Ordinance approving the Plat of Right of Way Dedication for An Extension of Walnut Street.

EXECUTIVE SUMMARY

The attached ordinance approves a plat of right of way dedication for an extension of Walnut Street, just east of Commercial Street.

BACKGROUND/DISCUSSION

A plat of right of way dedication for an extension of Walnut Street has been submitted. The plat extends the right of way “stub” from Commercial Street to the east by an additional 180 feet. In addition to dedicating right of way, the developer has completed improvements for the street extension, which will be on the May 20, 2019 City Council agenda for acceptance.

STAFF RECOMMENDATION

The staff report to the Planning and Zoning Commission recommended approval of the plat.

BOARD OR COMMISSION RECOMMENDATION

The Planning and Zoning Commission, at its September 12, 2018 meeting, recommended approval of the plat with a vote of 9 in favor, 0 in opposition, and 0 abstaining.

ATTACHMENTS:

Name:	Description:
Walnut Street Extension Right of Way Dedication Plat.doc	Ordinance
Staff Rview-Referral-Action Form.pdf	Walnut Street Extension ROW Dedication - Staff RRA Form
Map - Walnut Street ROW Dedication.pdf	Walnut Street Extension ROW Dedication - Map
Application - Walnut St Extension ROW Dedication Plat.pdf	Walnut Street Extension ROW Dedication - Application
WalnutROW.pdf	Walnut Street Extension ROW Dedication - Plat

BILL NO. 19-70

ORDINANCE NO. _____

AN ORDINANCE APPROVING THE PLAT OF RIGHT OF
WAY DEDICATION FOR AN EXTENSION OF WALNUT
STREET

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CAPE GIRARDEAU,
MISSOURI, AS FOLLOWS:

ARTICLE 1. The Plat of Right of Way Dedication: An Extension of Walnut Street, being that part of Lot 1, Rodney 400 Arpen Tract in Survey No. 2199, Township 30 North, Range 13 East, in the City of Cape Girardeau in Cape Girardeau County, Missouri, submitted by Mike A. Smith and Bonnie C. Smith, husband and wife, bearing the certification of Timothy J. Sander, dated May 11, 2018, is hereby approved.

ARTICLE 2. The City Clerk is hereby directed to sign the said plat of right of way dedication with the date of Council approval and affix thereto the seal of the City of Cape Girardeau, Missouri.

ARTICLE 3. This ordinance shall be in full force and effect ten days after its passage and approval.

PASSED AND APPROVED THIS _____ DAY OF _____, 2019.

Bob Fox, Mayor

ATTEST:

Bruce Taylor, Deputy City Clerk

CITY OF CAPE GIRARDEAU, MISSOURI
City Staff Review, Referral and Action - Subdivision Application

FILE: **Walnut Street Extension Right-of-Way Dedication Plat** LOCATION: Walnut Street

STAFF REVIEW & COMMENTS:

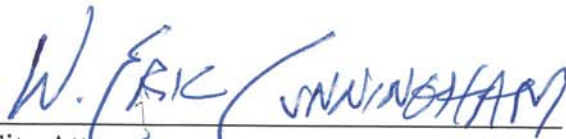
A record plat has been submitted for the dedication of the Walnut Street right-of-way extension. SEE STAFF REPORT FOR MORE DETAILS.



City Planner

8/23/18

Date



City Attorney

AUGUST 24, 2018

Date

CITY MANAGER REFERRAL TO THE PLANNING AND ZONING COMMISSION:



City Manager

August 27, 2018

Date

Planning & Zoning Commission

RECOMMENDED ACTION:


	Favor	Oppose	Abstain
Trae Bertrand	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Larry Dowdy	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jeff Glenn	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kevin Greaser	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Patrick Koetting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	Favor	Oppose	Abstain
Scott McClanahan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Bruce Skinner	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Doug Spooler	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tom Welch	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

VOTE COUNT: 9 Favor 0 Oppose 0 Abstain

COMMENTS:

CITIZENS COMMENTING AT MEETING:



Kevin Greaser
Planning & Zoning Commission Secretary

City Council Action

Ordinance 1st Reading _____ Ordinance 2nd & 3rd Reading: _____

ORDINANCE # _____

Effective Date: _____

Walnut Street Extension Right-of-Way Dedication Plat





SUBDIVISION PLAT APPLICATION CITY of CAPE GIRARDEAU

DEVELOPMENT SERVICES DEPARTMENT, 401 INDEPENDENCE ST, CAPE GIRARDEAU, MO 63703 (573) 339-6327

Name of Subdivision Smith's Subdivision <u>Walnut Street Extension</u>		Type of Plat: Preliminary, Record, or Boundary Adjustment Street Dedication	
Applicant GLD Engineering		Property Owner of Record (if other than Applicant) Mike Smith	
Mailing Address 2018 Kevin Dr.	City, State, Zip Cape Girardeau, MO 63701	Mailing Address 1549 Greenbrier	City, State, Zip Cape Girardeau, MO 63701
Telephone 573-332-8200	Email gldainc@sbcglobal.net	Telephone	Email
Contact Person (If Applicant is a Business or Organization) Mark A. Lester		<i>(Attach additional owners information, if necessary)</i>	
Professional Engineer/Surveyor (if other than Applicant)		Developer (if other than Applicant)	
Mailing Address	City, State, Zip	Mailing Address	City, State, Zip
Telephone	Email	Telephone	Email

ADDITIONAL ITEMS REQUIRED

See Instructions for more
information.

In addition to this completed application form, the following items must be submitted:

- ☐ Review Fee (payable to City of Cape Girardeau)
 - Single-Family or Two-Family Residential: \$20.00 per lot (\$100.00 minimum)
 - Multi-Family Residential: \$20.00 per dwelling unit (\$100.00 minimum)
 - Non-Residential : \$20.00 per acre (\$100.00 minimum)
- ☐ Recording Fee Deposit (payable to City of Cape Girardeau)


Sheet Size	Record Plat	Boundary Adjustment Plat
18" x 24"	\$44.00	\$24.00
24" x 36"	\$69.00	\$29.00

(The City reserves the right to issue a partial refund or collect an additional fee if the actual recording cost differs from the deposit amount)

- ☐ Two (2) full size prints of the plat
- ☐ Digital file of the plat in .pdf format (can be emailed)

CERTIFICATION

I hereby certify that I am the sole Property Owner of Record or an agent duly authorized by the Property Owner(s) of Record to file this application on their behalf. I acknowledge that plats for subdivisions involving public improvements will be held from City Council review until the improvements are completed and ready for acceptance by the City, or an escrow agreement for the improvements is executed. I further acknowledge that plats for subdivisions involving common land and/or elements require the submission of covenants and a deed ensuring the perpetual maintenance and supervision of the common land and/or elements by trustees prior to recording of the record plat.


Applicant Signature and Printed Name
MARK A. LESTER, P.E.

08-20-18

Date

OFFICE USE ONLY

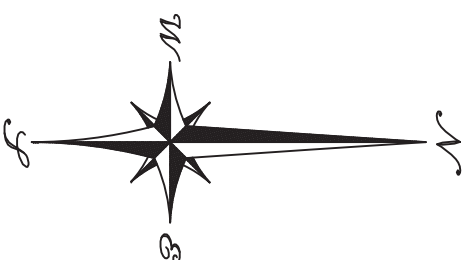
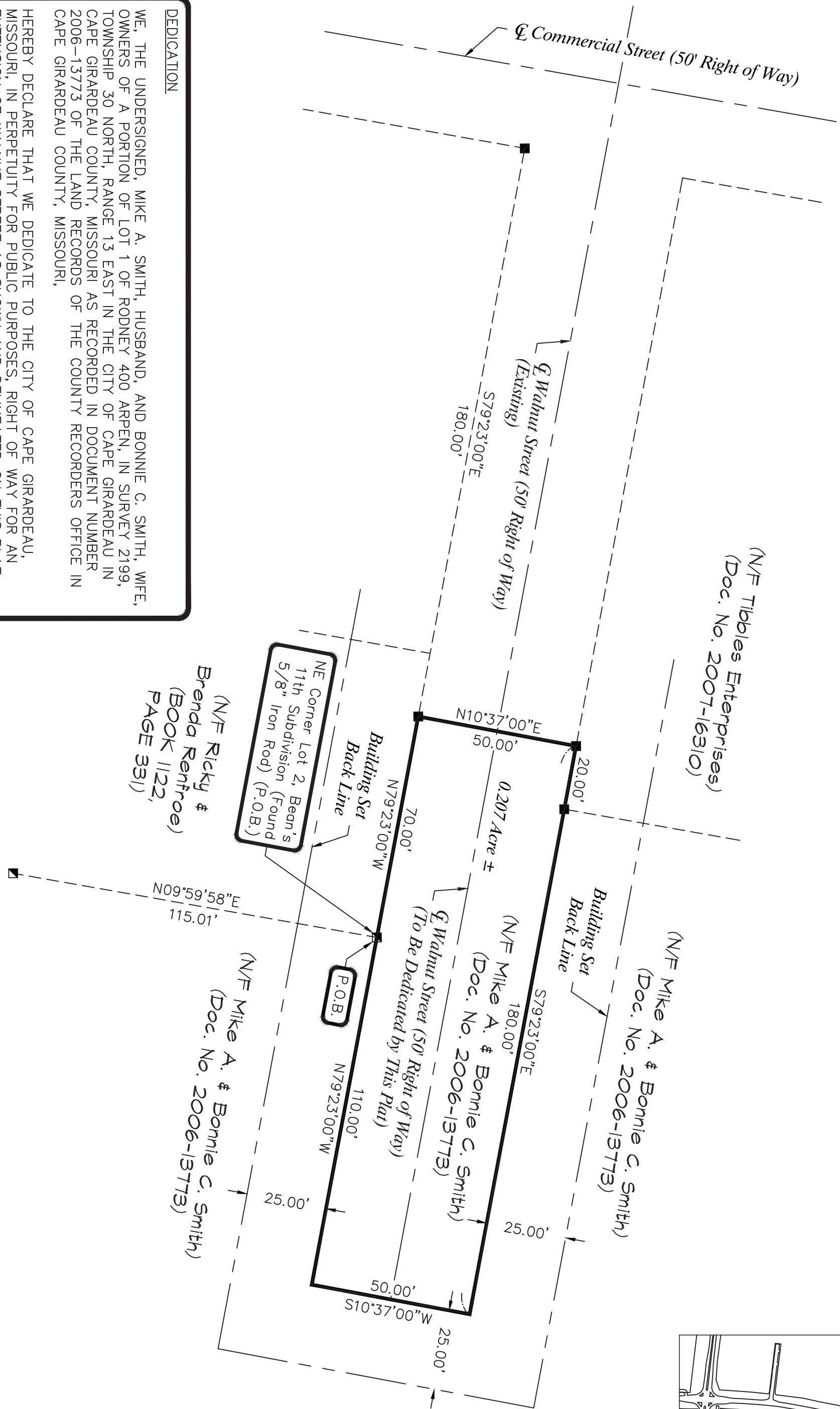
Date Received & By 8-20-18 cp MUNIS Application No. 7996

Planning & Zoning Commission Recommendation _____ Date _____

City Council Final Action _____ Date _____

Plat of Right of Way Dedication: An Extension of Walnut Street

Part of Lot 1, Rodney 400 Arpen Tract In Survey 2199,
Township 30 North, Range 13 East in the City of Cape
Girardeau in Cape Girardeau County, Missouri



Scale: 1" = 30'

(N/F Ricky & Bendie Renfroe)
(BOOK 1122
PAGE 381)

(N/F Mike A. & Bonnie C. Smith)
(Doc. No. 2006-13713)

DEDICATION
WE, THE UNDERSIGNED, MIKE A. SMITH, HUSBAND, AND BONNIE C. SMITH, WIFE, OWNERS OF A PORTION OF LOT 1 OF RODNEY 400 ARPEN, IN SURVEY 2199, TOWNSHIP 30 NORTH, RANGE 13 EAST IN THE CITY OF CAPE GIRARDEAU IN CAPE GIRARDEAU COUNTY, MISSOURI AS RECORDED IN DOCUMENT NUMBER 2006-13713 OF THE LAND RECORDS OF THE COUNTY RECORDERS OFFICE IN CAPE GIRARDEAU COUNTY, MISSOURI,
HEREBY DECLARE THAT WE DEDICATE TO THE CITY OF CAPE GIRARDEAU, MISSOURI, IN PERPETUITY FOR PUBLIC PURPOSES, RIGHT OF WAY FOR AN EXTENSION OF WALNUT STREET AS SHOWN AND DELINEATED ON THIS PLAT, SAID RIGHT OF WAY CONTAINING 0.207 ACRE (MORE OR LESS) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT THE NORTHEAST CORNER OF LOT 2 OF BEAN'S 11TH SUBDIVISION (FOUND 5/8" IRON ROD); THENCE N 79°23'00" W, 70.00 FEET TO THE SOUTHEAST CORNER OF THE EXISTING WALNUT STREET RIGHT OF WAY; THENCE ALONG THE EAST LINE OF SAID RIGHT OF WAY, N 10°37'00" E, 50.00 FEET; THENCE S 79°23'00" E, 180.00 FEET; THENCE S 10°37'00" W, 50.00 FEET; THENCE N 79°23'00" W, 110.00 FEET TO THE POINT OF BEGINNING.
IN WITNESS WHEREOF, WE, MIKE A. SMITH AND BONNIE C. SMITH, HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF _____, A.D., 2019.

- SYMBOL LEGEND**
- 1. ■ = 1/2" IRON RODS (END)
 - 2. ● = 5/8" IRON RODS (END)
 - 3. ◐ = 1/2" IRON RODS (SETBACK)
 - 4. ——— = SECTION BOUNDARY.
 - 5. - - - - - = STREET CENTERLINE.
 - 6. - - - - - = ADJOINER PROPERTY LINE.
 - 7. ——— = SETBACK LINE.

TITLE REFERENCES

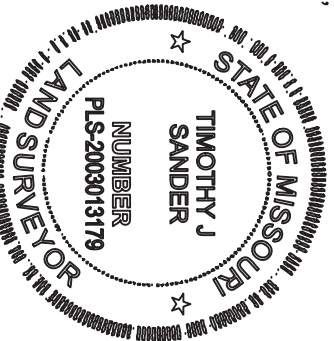
DOC NO 2006-13773 (SUB & ADJ)
BOOK 1122, PAGE 331 (SUB)
DOC NO 2007-16310 (ADJ)

MIKE A. SMITH, HUSBAND
BONNIE C. SMITH, WIFE

SURVEYOR CERTIFICATION

THIS IS TO CERTIFY THAT I, TIMOTHY J SANDER, HAVE SURVEYED THE FOREGOING DESCRIBED PARCEL OF LAND AT THE REQUEST OF MIKE A. SMITH AND HAVE PREPARED THE ANNEXED PLAT, WHICH IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY, TO THE BEST OF MY ABILITY AND THAT SAID PLAT AND SURVEY WERE DONE IN ACCORDANCE WITH THE CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS IN THE STATE OF MISSOURI AS DEFINED IN CHAPTER 16 OF DIVISION 2030 OF THE MISSOURI CODE OF STATE REGULATIONS (20 CSR 2030-16).

DONE THIS 11 th. DAY OF MAY, 2018.



TIMOTHY J. SANDER, MO-PLS 2003013179
20052 US HIGHWAY 61
SIKESTON, MISSOURI 63801

REFERENCES

1. NORTH BASIS ALONG THE NORTH LINE OF LOT 2 OF BEAN'S 11th SUBDIVISION (N 79°23'00" W).
2. ABSTRACT OF TITLE.
3. P.O.B. = POINT OF BEGINNING.
4. P.O.C. = POINT OF COMMENCEMENT.
5. N/F = NOW OR FORMERLY.
6. RECORD PLAT OF BEAN'S 11th SUBDIVISION, (PLAT BOOK 20, PAGE 62)

PROPERTY SURVEY CLASS... "URBAN"

ASSESSOR'S MAP NUMBER 20-312

STATE OF MISSOURI

COUNTY OF CAPE GIRARDEAU

On this ____ day of _____, 2019, before me, a Notary Public for said State and County, appeared Mike A. Smith, Husband, and Bonnie C. Smith, Wife, to me known to be the persons described herein, who did execute the foregoing instrument, and who acknowledged that they executed the same as their free act and deed.

IN WITNESS WHEREOF, I hereunto set my hand and affix my official seal this ____ day of _____, A.D., 2019.

My commission expires _____

Notary Public _____

I, _____, City Clerk of the City of Cape Girardeau, Missouri, hereby certify that this plat was approved by the City of Cape Girardeau, Missouri, by Ordinance No. _____ passed and approved this ____ day of _____, A.D., 2019.

City Clerk _____

STATE OF MISSOURI
COUNTY OF CAPE GIRARDEAU

Filed for record this ____ day of _____, A.D., 2019 in Document Number _____

Andrew David Blottner, Recorder of Deeds
Cape Girardeau County, Missouri

SANDER LAND SURVEYING
Phone Number: (573)450-2000 E-Mail: sandersurvey2003@gmail.com

TIMOTHY J. SANDER, PLS
20052 US HIGHWAY 61
SIKESTON, MISSOURI 63801

0 30 60 90
SCALE IN FEET

DATE: 05/11/18 DRAWN BY: TJS
REVISED: CHECKED BY: TJS

Staff: Casey Brunke, P.E., City
Agenda: Engineer
5/6/2019

SUBJECT

An Ordinance authorizing the Mayor to execute a Special Warranty Deed to Rhodes Properties, L.C. for property along Southern Expressway Right of Way, in the City of Cape Girardeau, Missouri.

BACKGROUND/DISCUSSION

During closed session the City Council approved selling a portion of the property along Southern Expressway right of way for fair market value to Rhodes Properties, L.C.. A Special Warranty Deed has been prepared for this purpose and is attached.

FINANCIAL IMPACT

Rhodes Properties, L.C. is paying \$14,636.16 for the property. The City will pay the recording fee.

STAFF RECOMMENDATION

Staff recommends approval of the ordinance authorizing the Mayor to execute a Special Warranty Deed to Rhodes Properties, LC for property along the right of way on Southern Expressway.

ATTACHMENTS:

Name:	Description:
<input type="checkbox"/> Southern Expressway_Rhodes_Special Warranty Deed.doc	Ordinance
<input type="checkbox"/> Southern Expressway_Rhodes SWD.pdf	Southern Expressway - SWD
<input type="checkbox"/> Southern Expressway - Agreement - Rhodes.pdf	Sales Agreement
<input type="checkbox"/> 37423-Rhodes Properties-New Parcel.pdf	plat

BILL NO. 19-73

ORDINANCE NO. _____

AN ORDINANCE AUTHORIZING THE MAYOR TO EXECUTE A SPECIAL WARRANTY DEED TO RHODES PROPERTIES, L.C., FOR PROPERTY ALONG SOUTHERN EXPRESSWAY RIGHT OF WAY, IN THE CITY OF CAPE GIRARDEAU, MISSOURI

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CAPE GIRARDEAU, MISSOURI, AS FOLLOWS:

ARTICLE 1. The Mayor, for and on behalf of the City of Cape Girardeau, Missouri, is hereby authorized to execute a Special Warranty Deed to Rhodes Properties, L.C., for property along Southern Expressway right of way, in the City and County of Cape Girardeau, Missouri, more particularly described as follows:

PART OF OUTLOT NO. 61, UNITED STATES PRIVATE SURVEY NO. 2199, TOWNSHIP 30 NORTH, RANGE 13 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF CAPE GIRARDEAU, STATE OF MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF LOT 1 OF SIX THIRTY THIRD SUBDIVISION, A SUBDIVISION ON FILE IN THE CAPE GIRARDEAU COUNTY LAND RECORDS IN BOOK 18 AT PAGE 91; THENCE SOUTH 77°26'30'' WEST ALONG THE EXISTING SOUTH RIGHT OF WAY OF SOUTHERN EXPRESSWAY, 721.09 FEET TO THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF CORPORATE CIRCLE DRIVE AND THE EXISTING SOUTH RIGHT OF WAY OF SOUTHERN EXPRESSWAY; THENCE LEAVING SAID INTERSECTION POINT, NORTH 09°47'57'' EAST, 53.53' FEET; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET, A LENGTH OF 29.51 FEET (THE CHORD OF SAID ARC BEARS NORTH 43°37'13'' EAST, 27.83 FEET); THENCE NORTH 77°26'30'' EAST 677.61 FEET; THENCE SOUTH 12°33'30'' EAST, 65.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.05 ACRES (45,952 SQUARE FEET), MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS AND RIGHT OF WAYS OF RECORD.

In addition, the City Manager is authorized to execute all accompanying documents.

ARTICLE 2. This ordinance shall be in full force and effect ten days after its passage and approval.

PASSED AND ADOPTED THIS _____ DAY OF _____, 2019.

Bob Fox, Mayor

ATTEST:

Bruce Taylor, Deputy City Clerk

SPECIAL WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS:

That on this ____ day of _____, 2019, **THE CITY OF CAPE GIRARDEAU, MISSOURI, a Municipal Corporation organized and existing under the laws of the State of Missouri**, of the County of Cape Girardeau in the State of Missouri, **GRANTOR**, in consideration of Ten Dollars (\$10.00) and other valuable consideration, to it paid by **Rhodes Properties, L.C. , a Missouri Limited Liability Company**, of the County of Cape Girardeau, in the State of Missouri, **GRANTEE**, (mailing address of said first named grantee is: 2075 Corporate Circle, Cape Girardeau, MO the receipt whereof is hereby acknowledged, and by virtue and pursuance of an ORDINANCE OF THE CITY COUNCIL OF SAID CITY, does by these presents, SELL AND CONVEY unto the Grantee, its successors and assigns, the following described lots, tracts or parcels of land, lying, being and situate in the City and County of Cape Girardeau and State of Missouri, to-wit:

PART OF OUTLOT NO. 61, UNITED STATES PRIVATE SURVEY NO. 2199, TOWNSHIP 30 NORTH, RANGE 13 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF CAPE GIRARDEAU, STATE OF MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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TO HAVE AND TO HOLD the same, together with all rights, privileges, appurtenances, and immunities thereto belonging or in anywise appertaining unto the said Grantee, and unto its successors and assigns, FOREVER, the said Grantor hereby covenanting that the above described premises are free and clear of all encumbrances done or suffered by the Grantor, and that it will Warrant and Defend the title to the said premises unto the Grantee and Grantee's successors and assigns, FOREVER, against the lawful claims of all persons claiming through the Grantor.

WITNESS the hand of the Grantor the day and year first above written.

THE CITY OF CAPE GIRARDEAU, MISSOURI

(Seal)

By: _____
Bob Fox, Mayor

ATTEST:

Gayle L. Conrad, City Clerk

STATE OF MISSOURI)
)
COUNTY OF CAPE GIRARDEAU) ss.

On this _____ day of _____, 2019, before me personally appeared **Bob Fox**, to me personally known, who being duly sworn did say that he is **Mayor of the City of Cape Girardeau, Missouri**, a municipal corporation of the State of Missouri, and that the seal affixed to this instrument is the official seal of said City, and that the said instrument was signed and sealed in behalf of said City by authority of its City Council, and acknowledged said instrument to be the free act and deed of said City.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

Notary Public

My commission expires:

AGREEMENT FOR THE SALE OF REAL PROPERTY

Rhodes Properties, L.C.
Southern Expressway Right of Way

The undersigned, **THE CITY OF CAPE GIRARDEAU, MISSOURI**, a Municipal Corporation organized and existing under the laws of the State of Missouri, of the County of Cape Girardeau in the State of Missouri hereinafter called the "Seller", in consideration of the mutual covenants and agreements herein set forth, agrees to convey to **RHODES PROPERTIES, L.C.**, a Missouri Limited Liability Company, hereinafter called the "Buyer", and Rhodes Properties, L.C. agrees to accept, FEE SIMPLE INTEREST in and to the following described land, and all rights, hereditaments, easements and appurtenances thereunto belonging, located in the City and County of Cape Girardeau, State of Missouri, bounded and described as set forth in **Exhibit A** attached hereto and made a part hereof.

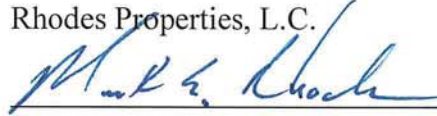
The terms and conditions of this Agreement are as follows:

1. Within 30 days of the full execution of this Agreement, Rhodes Properties, L.C. agrees to pay the sum of \$14,636.16 to the City of Cape Girardeau for the land described in **Exhibit A** (Right of Way). The Seller shall execute and deliver a good and sufficient Special Warranty Deed conveying said land, with the hereditaments and appurtenances thereunto belonging to Buyer, in fee simple, free and clear from all liens and encumbrances. Closing to take place on or before May 31, 2019, unless the Seller and Buyer mutually agree to a different date.
2. It is agreed that the City will defray the expenses incident to the preparation and recordation of the deed to the City.
3. The City of Cape Girardeau, Missouri represents that no elected City official or City employee shall be admitted to or share any part of this Agreement, or to any benefits that may arise therefrom.
4. The terms and conditions aforesaid are to apply to and bind the heirs, executors, administrators, successors and assigns of the Buyer.
5. All terms and conditions with respect to this Agreement are expressly contained herein and the Buyer agrees that no representative or agent of the City has made any representation or promise with respect to this Agreement not expressly contained within.

Signature page to follow

IN WITNESS WHEREOF, the undersigned has executed this Agreement this 29th day of April, 2019

Rhodes Properties, L.C.



Mark E. Rhodes, Manager

STATE OF MISSOURI

)

) ss.

COUNTY OF CAPE GIRARDEAU

)

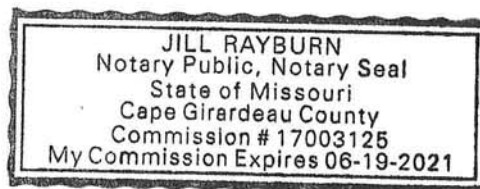
BE IT REMEMBERED, that on this 29th day of April, 2019 before me, the undersigned notary public, personally appeared Mark E. Rhodes, who being by me duly sworn, did state that he is a Manager of Rhodes Properties, L.C. a Missouri Limited Liability Company, and that within instrument was executed on behalf of said Rhodes Properties. L.C., a Missouri Limited Liability Company, and acknowledged that he has executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the date last above written.



Notary Public

My Commission Expires: 06-19-2021



My Commission Expires:

Exhibit A

PART OF OUTLOT NO. 61, UNITED STATES PRIVATE SURVEY NO. 2199, TOWNSHIP 30 NORTH, RANGE 13 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF CAPE GIRARDEAU, STATE OF MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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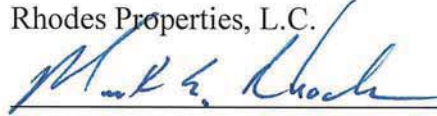
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4. The terms and conditions aforesaid are to apply to and bind the heirs, executors, administrators, successors and assigns of the Buyer.
5. All terms and conditions with respect to this Agreement are expressly contained herein and the Buyer agrees that no representative or agent of the City has made any representation or promise with respect to this Agreement not expressly contained within.

Signature page to follow

IN WITNESS WHEREOF, the undersigned has executed this Agreement this 29th day of April, 2019

Rhodes Properties, L.C.



Mark E. Rhodes, Manager

STATE OF MISSOURI

)

) ss.

COUNTY OF CAPE GIRARDEAU

)

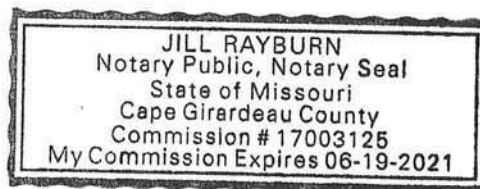
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IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the date last above written.



Notary Public

My Commission Expires: 06-19-2021



My Commission Expires:

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Staff: Gayle L. Conrad, Director of
Agenda: Citizen Services/City Clerk
5/6/2019

SUBJECT

Amending Chapter 26 of the Code of Ordinances relating to court fines due to a change in Supreme Court Rule 37 adopting a Uniform Fine Schedule for all courts in the State of Missouri.

EXECUTIVE SUMMARY

In October of 2018, the Supreme Court passed a change to Rule 37 adopting a Uniform Fine Schedule for animal control, housing and traffic violations included within the authority of any violations bureau within the State of Missouri. However, the Supreme Court did not release the actual fine schedule until the morning of May 1. These fines became effective May 1, 2019, and it is necessary to immediately amend our city ordinances to comply with the new fine schedule.

BACKGROUND/DISCUSSION

Until this rule change by the Missouri Supreme Court, the municipal judge had the authority to adopt a fine schedule for violations in her court system. With the adopted change to Supreme Court Rule 37, all courts across the state, both county and city, will have the same fine schedule for those offenses listed on the Uniform Fine Schedule. This will only apply to those offenses paid through the Violations Bureau and not those seen in Court. The City's current fine schedule as adopted by Municipal Court Judge Teresa Bright-Pearson, as well as the new Supreme Court Fine Schedule, are attached for your reference.

Section 26-2 of our City Code sets a penalty range for violations of ordinances in Chapter 26, except if a differing punishment is specifically provided for in an individual section. The fines for those violations were set specifically by ordinance and the Violations Bureau reflected those specific fines. The amounts of some of these in the Supreme Court's Uniform Fine Schedule differ from the amounts listed in our ordinances. The fines for violations to those sections will now be assessed as set in the Supreme Court Uniform Fine Schedule. There are City code sections that set specific amounts of fines, and these must be amended to comply with the Supreme Court Fine Schedule.

- Sec. 26-229(c) and (d), change age of child restraint from under 4 to under 8
- Sec. 26-230(a), change age of child restraint from under 4 to under 8
- Sec. 26-230(b), increase specific fine for child restraint pursuant to the Supreme Court Fine Schedule
- Sec. 26-263, eliminate specific fines for parking; all parking fines would be assessed under Sec. 26-2, and would be based on the Supreme Court Fine Schedule

FINANCIAL IMPACT

A majority of the fines as set by the Missouri Supreme Court Rule are within a few dollars (higher and lower) of the fines previously set by the Municipal Judge, leaving a neutral revenue effect. The biggest change will be in the parking violation fine. The City's current fine for a parking violation is \$35 (no court costs) if paid within the first 30 days, and \$45.00 plus court costs after 30 days. For handicapped parking violation, the current fine is \$50.00 if paid within the first 7 days and \$100.50 plus court costs after 7 days. The Supreme Court fine for all parking violations, including handicapped parking, is \$50.50 plus court costs. The current assessed court costs are \$31.50 per case.

STAFF RECOMMENDATION

Staff recommends that the City Council adopt by emergency measure the attached ordinance amending court fines to comply with the amended Supreme Court Rule 37 which went into effect May 1, 2019.

ATTACHMENTS:

Name:	Description:
-------	--------------

D SupremeCourtFineSchedule.Ordinance.2019-05-06.docx	Ordinance
D FineSchedule.SupremeCourt.2019-05-01.pdf	Supreme Court Fine Schedule Effective 05-01-19
D FineSchedule.MunicipalCourt.2019.pdf	Municipal Judge Fine Schedule

AN ORDINANCE AMENDING CHAPTER 26 OF THE CODE
OF ORDINANCES OF THE CITY OF CAPE GIRARDEAU,
MISSOURI

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CAPE GIRARDEAU,
MISSOURI, AS FOLLOWS:

ARTICLE 1. Section 26-229, entitled "Seat belts required for passenger cars", of Article V of Chapter 26 of the City Code, reading as follows:

Sec. 26-229. - Seat belts required for passenger cars.

(a) As used in this section, the term "passenger car" means every motor vehicle designed for carrying ten (10) persons or less and used for the transportation of persons, except that, the term "passenger car" shall not include motorcycles, motorized bicycles, motor tricycles and trucks with a licensed gross weight of twelve thousand (12,000) pounds or more.

(b) Each driver, except persons employed by the United States Postal Service while performing duties for that federal agency which require the operator to service postal boxes from their vehicles or which require frequent entry into and exit from their vehicles, and front seat passengers of a passenger car manufactured after January 1, 1968, operated on a street or highway in this city, and persons less than eighteen (18) years of age operating or riding in a truck, as defined in section 301.010, RSMo., on a street or highway of this city, shall wear a properly adjusted and fastened safety belt that meets federal National Highway Transportation and Safety Act requirements. No person shall be stopped, inspected, or detained solely to determine compliance with this subsection. The provisions of this subsection shall not be applicable to any person who has a medical reason for failing to have a seat belt fastened about their body, nor shall the provisions of this section be applicable to persons while operating or riding a motor vehicle being used in agricultural work-related activities. Noncompliance with this subsection shall not constitute probable cause for violation of any other provision of law.

(c) A child less than four (4) years of age shall be protected as required in section 26-230.

(d) Each driver of a motor vehicle transporting a child four (4) years of age or more, but less than sixteen (16)

years of age, shall secure the child in a properly adjusted and fastened safety belt.

(e) Each person who violates the provisions of paragraphs (b) and (d) of this section, upon conviction, may be punished by a fine of not more than ten dollars (\$10.00). All the provisions of law and court rules to the contrary notwithstanding, no court costs may be imposed if court costs have been assessed on any other charge arising out of the same occurrence. In no case shall points be assessed against any person, pursuant to RSMo. 302.302, for a violation of this section.

(f) If there are more persons than there are seat belts in the enclosed area of a motor vehicle, then the driver and passengers are not in violation of this section.

is hereby repealed in its entirety and a new Section 26-229, entitled "Seat belts required for passenger cars", is hereby enacted in lieu thereof, in words and figures, to read as follows, to-wit:

Sec. 26-229. - Seat belts required for passenger cars.

(a) As used in this section, the term "passenger car" means every motor vehicle designed for carrying ten (10) persons or less and used for the transportation of persons, except that, the term "passenger car" shall not include motorcycles, motorized bicycles, motor tricycles and trucks with a licensed gross weight of twelve thousand (12,000) pounds or more.

(b) Each driver, except persons employed by the United States Postal Service while performing duties for that federal agency which require the operator to service postal boxes from their vehicles or which require frequent entry into and exit from their vehicles, and front seat passengers of a passenger car manufactured after January 1, 1968, operated on a street or highway in this city, and persons less than eighteen (18) years of age operating or riding in a truck, as defined in section 301.010, RSMo., on a street or highway of this city, shall wear a properly adjusted and fastened safety belt that meets federal National Highway Transportation and Safety Act requirements. No person shall be stopped, inspected, or detained solely to determine compliance with this subsection. The provisions of this subsection shall not be applicable to any person who has a medical reason for failing to have a seat belt fastened about

their body, nor shall the provisions of this section be applicable to persons while operating or riding a motor vehicle being used in agricultural work-related activities. Noncompliance with this subsection shall not constitute probable cause for violation of any other provision of law.

(c) A child less than eight (8) years of age shall be protected as required in section 26-230.

(d) Each driver of a motor vehicle transporting a child eight (8) years of age or more, but less than sixteen (16) years of age, shall secure the child in a properly adjusted and fastened safety belt.

(e) Each person who violates the provisions of paragraphs (b) and (d) of this section, upon conviction, may be punished by a fine of not more than ten dollars (\$10.00). All the provisions of law and court rules to the contrary notwithstanding, no court costs may be imposed if court costs have been assessed on any other charge arising out of the same occurrence. In no case shall points be assessed against any person, pursuant to RSMo. 302.302, for a violation of this section.

(f) If there are more persons than there are seat belts in the enclosed area of a motor vehicle, then the driver and passengers are not in violation of this section.

ARTICLE 2. Section 26-230, entitled "Passenger restraint system required for child under four years of age; exceptions; violation, fine", of Article V of Chapter 26 of the City Code, reading as follows:

Sec. 26-230. - Passenger restraint system required for child under four years of age; exceptions; violation, fine.

(a) Every person transporting a child under the age of four (4) years shall be responsible, when transporting such child in a motor vehicle operated by that person on the streets or highways of this city, for providing for the protection of such child. Such child shall be protected by a child passenger restraint system approved by the state department of public safety.

(b) Any person who violates this section is guilty of an infraction and, upon conviction, may be punished by a fine of not more than twenty-five dollars (\$25.00) and court costs.

(c) The provisions of this section shall not apply to any public carrier for hire.

is hereby repealed in its entirety and a new Section 26-230, entitled "Passenger restraint system required for child under four years of age; exceptions; violation, fine", is hereby enacted in lieu thereof, in words and figures, to read as follows, to-wit:

Sec. 26-230. - Passenger restraint system required for child under eight years of age; exceptions; violation, fine.

(a) Every person transporting a child under the age of eight (8) years shall be responsible, when transporting such child in a motor vehicle operated by that person on the streets or highways of this city, for providing for the protection of such child. Such child shall be protected by a child passenger restraint system approved by the state department of public safety.

(b) Any person who violates this section is guilty of an infraction and, upon conviction, may be punished by a fine of not more than fifty dollars (\$50.00) and court costs.

(c) The provisions of this section shall not apply to any public carrier for hire.

ARTICLE 3. Section 26-263, entitled "Penalties", of Article VI of Chapter 26 of the City Code, reading as follows:

(a) Any person accused of violating section 26-246, 26-247, 26-248, 26-249, 26-250, 26-251, 26-252, 26-253, 26-255, 26-256, 26-257, 26-258, 26-259 or 26-261, upon conviction or upon entering a plea of guilty, shall pay a fine according to the following schedule:

(1) Thirty-five dollars (\$35.00) if paid within thirty (30) days following the violation.

(2) Forty-five dollars (\$45.00) if paid more than thirty days (30) days following the violation.

(b) Any person accused of violating section 26-260 upon conviction or upon entering a plea of guilty, shall pay a fine according to the following schedule:

(1) Fifty dollars (\$50.00) if paid within seven (7) days following the violation.

(2) Not more than three hundred dollars (\$300.00) if paid more than seven (7) days following the violation.

is hereby repealed in its entirety.

ARTICLE 2. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision and such holding shall not affect the validity of the remaining portions hereof.

ARTICLE 3. It is the intention of the governing body and it is hereby ordained that the provisions of this ordinance shall become and be made a part of the Code of Ordinances of the City of Cape Girardeau, Missouri, and the sections of this Code may be renumbered to accomplish such intention.

ARTICLE 4. Pursuant to Section 3.15(a) of the Charter of the City of Cape Girardeau, Missouri, this measure is adopted as an emergency measure as it constitutes a Bill concerning the immediate preservation of public peace, property, health, safety or morals. Specifically, on May 1, 2019, the Missouri Supreme Court adopted a Uniform Fine Schedule which became effective on May 1, 2019. Accordingly, this ordinance will take effect immediately upon its passage and approval.

PASSED AND APPROVED THIS _____ DAY OF _____, 2019.

Bob Fox, Mayor

ATTEST:

Bruce Taylor, Deputy City Clerk

5-1-19

FINE SCHEDULE FOR MUNICIPAL OFFENSES
APPROVED BY UFSC MARCH 25, 2019

CHARGE CODE	Equivalent Statutes	DESCRIPTION	Committee Fine Amount
ORDIN.0-004N20005499.0		ANIMAL LICENSE	\$50.50
ORDIN.0-005N20165599.0		ANIMAL AT LARGE	\$50.50
ORDIN.0-013N20005499.0	304.013-001N199054 - Unlawfully Operate All-Terrain Vehicle Upon Highway	OPERATE ALL-TERRAIN VEHICLE UPON A HIGHWAY/STREET NOT AUTHORIZED	\$50.50
ORDIN.0-014N20005499.0	304.013-009N199054 - Unlawfully Oper All-Terrain Vehicle While Carrying A Passenger When Seat Not Designed For Such	OPERATE ALL-TERRAIN VEHICLE CARRYING A PASSENGER	\$50.50
ORDIN.0-015N20005499.0	304.013-005N199054 - Unlawfully Oper All-Terrain Vehicle Without Proper Bicycle Safety Flag	OPERATE ALL-TERRAIN VEHICLE WITHOUT PROPER BICYCLE SAFETY FLAG	\$50.50
ORDIN.0-016N20005499.0	304.032-005N800854 - Unlawfully Operate All-Terrain Vehicle Within A Stream Or River	OPERATE ALL-TERRAIN VEHICLE WITHIN A STREAM OR RIVER	\$149.50
ORDIN.0-017N20005499.0	304.013-003N199054 - Unlawfully Oper All-Terrain Vehicle On Highway Without Operator's Or Chauffeur's License	OPERATE ALL-TERRAIN VEHICLE ON HWY WITHOUT OPERATOR OR CHAUFFEUR LICENSE	\$60.50
ORDIN.0-020N20005499.0	304.013-004N199054 - Unlawfully Oper All-Terrain Vehicle On Highway In Excess Of Thirty MPH	OPERATE ATV ON HWY IN EXCESS OF 30 MILES PER HOUR	\$60.50
ORDIN.0-021N20005499.0	304.013-008N199054 - PERSON UNDER EIGHTEEN YEARS OF AGE OPERATING ALL-TERRAIN VEHICLE WITHOUT SECURELY FASTENED SAFETY HELMET ON HEAD	PERSON UNDER 18 YEARS OF AGE OPERATE ALL-TERRAIN VEHICLE WITHOUT SECURELY FASTENED SAFETY HELMET ON HEAD	\$50.50
ORDIN.0-047N20005499.0	302.020-009N201154 - PERMITTED UNVALIDATED LICENSEE TO OPERATE MOTORCYCLE - 2ND OR SUBSEQUENT OFFENSE	PERMITTED INVALIDATED LICENSEE TO OPERATE MOTORCYCLE	\$70.50
ORDIN.0-105N20005499.0		IMPROPER BACKING	\$60.50
ORDIN.0-106N20035499.0	304.015 (lane use)	WEAVING	\$60.50
ORDIN.0-107N20005499.0	304.015-014N201054-FAILED TO DRIVE ON RIGHT HALF OF RDWY WHEN RDWY WAS OF SUFFICIENT WIDTH	FAILED TO DRIVE ON RIGHT HALF OF ROADWAY WHEN ROADWAY WAS OF SUFFICIENT WIDTH	\$60.50
ORDIN.0-108N20005499.0	304.015-011N201054 - FAILED TO DRIVE WITHIN SINGLE LANE ON ROADWAY HAVING 3 OR MORE LANES	FAILED TO DRIVE WITHIN SINGLE LANE	\$60.50
ORDIN.0-109N20005499.0	304.016-004N197554-DROVE VEHICLE TO LEFT SIDE OF ROADWAY WHEN VIEW OBSTRUCTED BY HILL OR CURVE	DROVE VEHICLE TO LEFT SIDE OF ROADWAY WHEN VIEW OBSTRUCTED BY HILL/CURVE	\$130.50
ORDIN.0-110N20005499.0	304.016-005N197554- DROVE VEHICLE TO LEFT SIDE OF ROADWAY WITHIN 100 FT OF BRIDGE/VIADUCT/TUNNEL WHEN VIEW OBSTRUCTED	DROVE VEHICLE TO LEFT SIDE OF ROADWAY WITHIN 100 FEET OF BRIDGE/VIADUCT/TUNNEL WHEN VIEW OBSTRUCTED	\$130.50
ORDIN.0-114N20005499.0	304.341-005N197554- MADE U-TURN/INTERFERED WITH TRAFFIC WHERE VISION LESS THAN 300 FT/TRAFFIC HAZARD CREATED	MADE U-TURN/INTERFERED WITH TRAFFIC WHERE VISION LESS THAN 300 FEET - TRAFFIC HAZARD CREATED	\$60.50
ORDIN.0-117N20005499.0	304.015-022N201054- DROVE IN CENTER LANE OF 3 LANE ROADWAY WHEN VIEW OBSTRUCTED OR NOT CLEAR OF TRAFFIC	DROVE IN CENTER LANE OF 3-LANE ROAD WHEN VIEW OBSTRUCTED/NOT CLEAR OF TRAFFIC	\$60.50

ORDIN.0-118N20005499.0	304.015-023N201054- DROVE IN CENTER LANE OF 3 LANE ROADWAY WHEN VIEW OBSTRUCTED OR NOT CLEAR OF TRAFFIC CAUSING AN IMMEDIATE THREAT OF ACCIDENT	DROVE IN CENTER LANE OF 3- LANE ROAD WHEN VIEW OBSTRUCTED/NOT CLEAR OF TRAFFIC - CAUSE IMMEDIATE THREAT OF ACCIDENT	\$60.50
ORDIN.0-120N20005499.0	304.015-013N201054- DROVE WRONG DIRECTION ON HWY DIVIDED INTO TWO OR MORE RDWAYS	DROVE WRONG DIRECTION ON STREET	\$60.50
ORDIN.0-121N20005499.0	304.015-012N201054- DROVE WRONG DIRECTION ON HWY DIVIDED INTO TWO OR MORE RDWAYS CAUSING AN IMMEDIATE THREAT OF AN ACCIDENT	DROVE WRONG DIRECTION ON STREET - CAUSE IMMEDIATE THREAT OF ACCIDENT	\$60.50
ORDIN.0-123N20005499.0	304.015-015N201054- FAILED TO DRIVE ON RIGHT HALF OF ROADWAY WHEN ROADWAY WAS OF SUFFICIENT WIDTH - CAUSES IMMEDIATE THREAT OF AN ACCIDENT	FAILED TO DRIVE ON RIGHT HALF OF ROADWAY WHEN ROADWAY WAS SUFFICIENT WIDTH - CAUSE IMMEDIATE THREAT OF ACCIDENT	\$60.50
ORDIN.0-125N20035499.0		FAILURE TO STAY ON PAVEMENT	\$60.50
ORDIN.0-126N20005499.0	included in Maryland Heights - "Improper turn"	ILLEGAL/IMPROPER TURNING	\$60.50
ORDIN.0-127N20005499.0	304.281-003N197554- TURNED RIGHT ON RED SIGNAL WHERE PROHIBITED BY SIGN	TURNED RIGHT ON RED SIGNAL WHERE PROHIBITED BY SIGN	\$60.50
ORDIN.0-128N20005499.0	304.019-002N197554- FAILED TO SIGNAL/GAVE IMPROPER SIGNAL WHEN STOPPING/TURNING LEFT OR RIGHT	FAIL TO SIGNAL/GAVE IMPROPER SIGNAL WHEN STOPPING/TURNING LEFT OR RIGHT	\$60.50
ORDIN.0-129N20005499.0	304.311-001N197554- ENTERED/TRAVELED IN A LANE OVER WHICH A RED SIGNAL WAS SHOWN	ENTERED/TRAVELED IN A LANE OVER WHICH A RED SIGNAL WAS SHOWN	\$60.50
ORDIN.0-131N20005499.0	304.015-008N201054- MADE U-TURN/LEFT TURN ON DIVIDED HIGHWAY NOT AT INTERSECTION/INTERCHANGE/ANY SIGNED LOCATION	MADE U-TURN NOT AT CROSSOVER	\$60.50
ORDIN.0-132N20005499.0	304.341-002N197554- MADE U-TURN AT INTERSECTION CONTROLLED BY TRAFFIC SIGNAL/POLICE OFFICER	MADE U-TURN AT INTERSECTION CONTROLLED BY TRAFFIC SIGNAL/POLICE OFFICER	\$60.50
ORDIN.0-133N20005499.0	304.015-009N201054- MADE U-TURN/LEFT TURN ON DIVIDED HIGHWAY NOT AT INTERSECTION/INTERCHANGE/ANY SIGNED LOCATION - CAUSES IMMEDIATE THREAT OF AN ACCIDENT	MADE U-TURN NOT AT CROSSOVER-CAUSE IMMEDIATE THREAT OF ACCIDENT	\$60.50
ORDIN.0-135N20005499.0	304.017-001N197554- CAR/MOTORCYCLE/TRUCK UNDER 18,000 POUNDS FOLLOWED ANOTHER VEHICLE TOO CLOSELY	FOLLOWED ANOTHER VEHICLE TOO CLOSELY	\$60.50
ORDIN.0-137N20005499.0	on Maryland Heights - "Improper lane usage"	IMPROPER LANE USE	\$60.50
ORDIN.0-138N20005499.0	304.17-002N197554- TRUCK - 18,000 POUNDS OR MORE MORE/BUS FOLLOWED ANOTHER VEHICLE TOO CLOSELY	TRUCK OVER 18000 LBS FOLLOWED ANOTHER VEHICLE TOO CLOSELY	\$130.50
ORDIN.0-139N20005499.0	304.044-001N197554- FOLLOWED ANOTHER BUS/TRUCK CLOSER THAN 300 FEET	FOLLOWED ANOTHER BUS/TRUCK CLOSER THAN 300 FT	\$130.50
ORDIN.0-140N20005499.0	304.351-004N197554- FAIL TO YIELD, AFTER STOPPING, TO VEHICLE THAT ENTERED INTERSECTION/SO CLOSE TO CAUSE HAZARD	FAIL TO YIELD AFTER STOPPING TO VEHICLE THAT ENTERED INTERSECTION/SO CLOSE TO CAUSE HAZARD	\$60.50
ORDIN.0-141N20005499.0	304.023-001N195354- IMPROPER PASSING OF A STREETCAR	IMPROPER PASSING OF A STREETCAR	\$80.50
ORDIN.0-142N20005499.0	304.015-001N201054- CHANGE LANES WHEN MOVEMENT COULD NOT BE MADE WITH SAFETY ON ROADWAY HAVING 3 OR MORE LANES	CHANGED LANES WHEN MOVEMENT COULD NOT BE MADE WITH SAFETY	\$60.50

ORDIN.0-143N20005.499.0	304.015-002N201054- CHANGE LANES WHEN MOVEMENT COULD NOT BE MADE WITH SAFETY ON ROADWAY HAVING 3 OR MORE LANES - CAUSES IMMEDIATE THREAT OF AN ACCIDENT	CHANGED LANES WHEN MOVEMENT COULD NOT BE MADE WITH SAFETY - CAUSE IMMEDIATE THREAT OF ACCIDENT	\$60.50
ORDIN.0-145N20005.499.0	304.016-002N197554- PASSED VEHICLE ON RIGHT AND TRAVELED OFF MAIN PORTION OF ROAD	PASS VEHICLE ON RIGHT/TRAVELED OFF MAIN PORTION OF ROAD	\$80.50
ORDIN.0-146N20005.499.0	304.016-003N197554- PASSED VEHICLE AND INTERFERED WITH APPROACHING TRAFFIC	PASS VEHICLE/INTERFERED WITH APPROACHING TRAFFIC	\$130.50
ORDIN.0-147N20005.499.0	304.019-001N197554- STOPPED/DECREASED SPEED/TURNED FROM DIRECT COURSE/MOVED VEHICLE RIGHT/LEFT WHEN UNSAFE	STOPPED/SLOWED SPEED/TURNED FROM DIRECT COURSE/MOVED VEH RGT/LFT WHEN UNSAFE	\$60.50
ORDIN.0-148N20005.499.0	304.170-001N197554- OPERATE/TRANSPORT IMPLEMENTS OF HUSBANDRY ON HIGHWAY WITHOUT OPERATOR'S LICENSE	OPERATE/TRANSPORT IMPLEMENTS OF HUSBANDRY ON ROADWAY BETWEEN SUNSET AND SUNRISE	\$80.50
ORDIN.0-150N20005.499.0	304.050 St. Charles VB - "Fail to stop for school bus receiving/discharging children"	FAIL TO STOP FOR SCHOOL BUS RECEIVING/DISCHARGING SCHOOL CHILDREN	\$130.50
ORDIN.0-156N20095.499.0	304.820-002N200954- PERSON 21 YEARS OLD OR LESS OPERATE MOVING NONCOMMERCIAL MOTOR VEHICLE WHILE SENDING/READING/TEXTING ON MOBILE ELECTRONIC DEVICE	PERSON 21 YEARS OLD OR LESS OPERATE MOVING MOTOR VEHICLE WHILE SENDING/READING/TEXTING ON MOBILE ELECTRONIC DEVICE	\$80.50
ORDIN.0-157N20005.499.0	307.040-002N201754- OPER MTR VEH WITHOUT LIGHTED LAMPS WHEN USING WINDSHIELD WIPERS	NO HEADLIGHTS WHEN REQUIRED	\$10.00
ORDIN.0-158N20035.499.0	307.070-001N201754- FAILED TO DIM LIGHTS WHEN WITHIN 500 FT OF ONCOMING VEH/300 FT OF REAR OF VEHICLE	FAILURE TO DIM LIGHTS	\$50.50
ORDIN.0-159N20005.499.0	St. Charles VB. Numerous "defective" type charge codes in FCC list	DEFECTIVE EQUIPMENT	\$50.50
ORDIN.0-161N200054.0	302.755-001N199554- VIOLATED AN OUT OF SERVICE ORDER WHILE TRANSPORTING HAZARDOUS MATERIALS (1ST OFFENSE)	VIOLATE OUT-OF-SERVICE ORDER WHILE TRANSPORTING HAZARDOUS MATERIALS - 1ST OFFENSE	\$130.50
ORDIN.0-163N20005.499.0	302.755-003N200554- VIOL OUT-OF SERVICE ORDER WHILE OPER MTR VEH DESIGNED TO TRANSPORT MORE THAN 16 PASSENGERS INCLUDING DRIVER - 1ST OFFENSE	VIOLATE OUT-OF-STATE ORDER WHILE OPERATING MOTOR VEHICLE DESIGNED TO TRANSPORT MORE THAN 15 PASSENGERS INCLUDING DRIVER - 1ST OFFENSE	\$130.50
ORDIN.0-188N20005.499.0	307.195-001N201054- OPERATE MOTORIZED BICYCLE ON HWY OR STREET WITHOUT VALID DRIVER'S LICENSE	OPERATE MOTORIZED BICYCLE ON HIGHWAY - STREET WITHOUT VALID DRIVERS LICENSE	\$50.50
ORDIN.0-189N20005.499.0	307.195-002N201054- OPERATED MOTORIZED BICYCLE ON INTERSTATE HIGHWAY	OPERATE MOTORIZED BICYCLE ON INTERSTATE HIGHWAY	\$50.50
ORDIN.0-190N20005.499.0	302.020-011N199554- FAILED TO WEAR PROTECTIVE HEADGEAR WHEN ON MOTORCYCLE IN MOTION/WEAR APPROVED GEAR	FAIL TO WEAR PROTECTIVE HEADGEAR WHEN ON MOTORCYCLE IN MOTION/WEAR APPROVED GEAR	\$50.50
ORDIN.0-192N20005.499.0	304.271-001N197554- FAILED TO OBEY TRAFFIC CONTROL DEVICE	FAIL TO OBEY TRAFFIC CONTROL DEVICES	\$60.50
ORDIN.0-193N20005.499.0	304.271	RED LIGHT VIOLATION	\$60.50
ORDIN.0-194N20005.499.0	304.351-007N197554- FAILED TO STOP FOR STOP SIGN AT STOP LINE/BEFORE CROSSWALK.POINT NEAREST INTERSECTION	FAIL TO STOP AT STOP SGN AT STOP LINE BEFORE CROSWALK/POINT NEARST INTRSECTION	\$60.50

ORDIN.0-195N20105499.0	304.351-007N197554- FAILED TO STOP FOR STOP SIGN AT STOP LINE/BEFORE CROSSWALK/POINT NEAREST INTERSECTION DUPLICATE OF ABOVE??	FAIL TO STOP AT STOP SIGN AT STOP LINE/BEFORE CROSSWALK/POINT NEAREST INTERSECTION - COUNTY	\$60.50
ORDIN.0-196N20005499.0	304.271-001N197554- FAILED TO OBEY TRAFFIC CONTROL DEVICE	FAIL TO TURN AS DIRECTED OR REQUIRED BY INTERSECTION TRAFFIC CONTROL DEVICE	\$60.50
ORDIN.0-198N20005499.0	304.301-002N199654- FAILED TO PROCEED WITH CAUTION PAST A FLASHING YELLOW SIGNAL	FAILED TO PROCEED WITH CAUTION PAST FLASHING YELLOW SIGNAL	\$60.50
ORDIN.0-199N20005499.0	304.301-001N197554- FAILED TO STOP FOR FLASHING RED SIGNAL AT STOP LINE/CROSSWALK/POINT NEAREST INTERSECTION	FAILED TO STOP FOR FLASHING RED SIGNAL AT STOP LINE/CROSSWALK/POINT NEAREST INTERSECTION	\$60.50
ORDIN.0-200N20005499.0	304.281-002N197554-FAILED TO STOP FOR STEADY RED SIGNAL AT CROSSWALK/STOP LINE/POINT NEAREST INTERSECTION	FAILED TO STOP FOR STEADY RED SIGNAL AT CROSSWALK/STOP LINE/POINT NEAREST INTERSECTION	\$60.50
ORDIN.0-201N20005499.0	304.015-003N201054-FAILED TO OBEY OFFICIAL SIGNS TEMPORARILY DESIGNATING LANES	FAILED TO OBEY OFFICIAL SIGNS TEMPORARILY DESIGNATING LANES	\$60.50
ORDIN.0-202N20005499.0	304.015-004N201054-FAILED TO OBEY OFFICIAL SIGNS TEMP DESIGNATING LANES CAUSE AN IMMEDIATE THREAT OF AN ACCIDENT	FAILED TO OBEY OFFICIAL SIGNS TEMPORARILY DESIGNATING LANES - CAUSE IMMEDIATE THREAT OF ACCIDENT	\$60.50
ORDIN.0-204N20005499.0	304.016-001N197554-CUT IN ON OVERTAKEN VEHICLE	CUT IN ON OVERTAKEN VEHICLE	\$80.50
ORDIN.0-205N20005499.0	304.281-001N197854 - FAILED TO YIELD RIGHT OF WAY TO VEHICLE/ PEDESTRIAN LAWFULLY IN CONTROLLED INTERSECTION/CROSSWALK	FAILED TO YIELD	\$60.50
ORDIN.0-206N20005499.0	304.351-008N197554-FAILED TO SLOW TO REASONABLE SPEED FOR EXISTING CONDITIONS OR STOP FOR YIELD SIGN	FAIL TO SLOW TO REASONABLE SPEED FOR EXISTING CONDITIONS FOR YIELD SIGN	\$60.50
ORDIN.0-207N20005499.0	304.351-001N197554-FAILED TO YIELD TO VEHICLE THAT HAD ENTERED INTERSECTION WITH NO TRAFFIC CONTROL	FAILED TO YIELD TO VEHICLE THAT HAD ENTERED INTERSECTION WITH NO TRAFFIC CONTROL	\$60.50
ORDIN.0-208N20005499.0	304.291-001N197554-FAILED TO YIELD RIGHT OF WAY TO PEDESTRIAN FACING WALK SIGNAL	FAILED TO YIELD RIGHT OF WAY TO PEDESTRIAN FACING WALK SIGNAL	\$60.50
ORDIN.0-209N20005499.0	304.351-005N197554-FAILED TO YIELD TO APPROACHING VEHICLE WHEN ENTERING/CROSSING HWY FROM ALLEY/DRIVEWAY	FAIL TO YIELD TO APPROACHING VEHICLE WHEN ENTERING/CROSSING HIGHWAY FROM ALLEY/DRIVEWAY	\$60.50
ORDIN.0-210N20005499.0	304.351-006N197554-FAILED TO YIELD TO APPROACHING VEHICLE WHEN TURNING LEFT INTO ALLEY/PRIVATE ROAD/DRIVEWAY	FAIL TO YIELD TO APPROACHING VEHICLE WHEN TURNING LEFT INTO ALLEY/PRIVATE ROAD/DRIVEWAY	\$60.50
ORDIN.0-211N20005499.0	304.281-001N197854-FAILED TO YIELD RIGHT OF WAY TO VEHICLE/ PEDESTRIAN LAWFULLY IN CONTROLLED INTERSECTION/CROSSWALK	FAILED TO YIELD RIGHT OF WAY TO VEHICLE/PEDESTRIAN LAWFULLY IN CONTROLLED INTERSECTION OR CROSSWALK	\$60.50
ORDIN.0-212N20005499.0	304.351-002N197554-FAILED TO YIELD TO VEHICLE ON RIGHT THAT ENTERED INTERSECTION AT APPROXIMATELY SAME TIME	FAILED TO YIELD TO VEHICLE ON RIGHT THAT ENTERED INTERSECTION AT APPROXIMATELY SAME TIME	\$60.50
ORDIN.0-213N20005499.0	304.351-003N197554-FAILED TO YIELD TO VEHICLE APPROACHING FROM OPPOSITE DIRECTION WHEN TURNING LEFT	FAIL TO YIELD TO VEHICLE APPROACHING FROM OPPOSITE DIRECTION WHEN TURNING LEFT	\$60.50

ORDIN.0-215N20005499.0	304.022-001N200654-FAIL TO YIELD TO EMERGENCY VEH SOUNDING SIREN AND DISPLAYING RED/BLUE LIGHT	FAIL TO YIELD TO EMERGENCY VEHICLE SOUNDING AUDIBLE SIREN SIGNAL/DISPLAY LIGHTED VISIBLE RED/BLUE LIGHT	\$80.50
ORDIN.0-216N200065499.0	304.022-002N200654-Fail To Proceed w/ Cautn/Mid Right-Of-Way/Reduce Spd When Approach Statnary Emergency Veh Dsply Emergency Light	FAILURE TO PROCEED WITH CAUTION/YIELD RIGHT-OF-WAY/REDUCE SPEED WHEN APPROACHING A STATIONARY EMERGENCY VEHICLE DISPLAYING EMERGENCY LIGHTS	\$80.50
ORDIN.0-223N20005499.0	304.022-003N200654-ACTIVATE SIREN / WARNING LIGHTS ON EMERGENCY VEHICLE WHEN NOT IN PURSUIT / ON EMERGENCY MISSION	ACTIVATED SIREN/WARNING LIGHTS ON EMERGENCY VEHICLE WHEN NOT IN PURSUIT/ON AN EMERGENCY MISSION	\$80.50
ORDIN.0-224N20005499.0	304.341-004N197554-FAILED TO MAKE/APPROACH FOR LEFT TURN WITHIN PROPER LANE	FAILED TO MAKE/APPROACH FOR LEFT TURN WITHIN PROPER LANE	\$60.50
ORDIN.0-231N20005499.0	304.011-001N197554-DROVE AT SUCH SLOW SPEED TO IMPEDE/BLOCK NORMAL AND REASONABLE TRAFFIC MOVEMENT	DROVE AT SUCH SLOW SPEED TO IMPEDE/BLOCK NORMAL AND REASONABLE TRAFFIC MOVEMENT	\$60.50
ORDIN.0-233N20075499.0	304.158-001N199654-ANY VIOLATION OF TOWING REGULATIONS FROM 304.155 TO 304.158	VIOLATION OF RESTRICTIONS/REGULATIONS REGARDING TOW TRUCKS	\$130.50
ORDIN.0-242N20035499.0	304.151-001N199654-FAILURE TO MOVE VEHICLE WHICH IS OBSTRUCTING FLOW OF TRAFFIC	OBSTRUCTING TRAFFIC	\$50.50
ORDIN.0-243N20005499.0	307.040-004N201754 - USED UNAPPROVED LIGHTING DEVICE OR EQUIPMENT ON MTR VEH/MTR DRAWN VEH/MOTORCYCLE	EQUIPMENT VIOLATION	\$50.50
ORDIN.0-244N20005499.0	307.170-011N199654 - OPERATED MTR VEH WHICH EMITTED EXCESSIVE AND UNNECESSARY NOISE	EXCESSIVE NOISE FROM SQUEALING TIRES - VEHICULAR CRUISING	\$50.50
ORDIN.0-246N20035499.0			\$20.50
ORDIN.0-250N20005499.0	304.015-031N201054-FAILED TO PLACE VEH NOT IN MOTION AS NEAR RIGHT HAND SIDE OF HWY AS PRACTICABLE	FAILED TO PLACE VEHICLE NOT IN MOTION AS NEAR RIGHT HAND SIDE OF ROAD AS PRACTICABLE	\$60.50
ORDIN.0-251N20005499.0	304.015-032N201054-FAILED TO PLACE VEH NOT IN MOTION AS NEAR RIGHT HAND SIDE OF HWY AS PRACTICABLE CAUSING AN IMMEDIATE THREAT OF ACCIDENT	FAILED TO PLACE VEHICLE NOT IN MOTION AS NEAR RIGHT HAND SIDE OF ROAD AS PRACTICABLE CAUSING IMMEDIATE THREAT OF ACCIDENT	\$60.50
ORDIN.0-265N20005499.0	301.143-002N198654 - PARKING IN A HANDICAPPED ZONE or 304.079-001N200454 - FAIL TO PROVIDE PROPER AUTHORIZATION FOR PARKING VEHICLE IN HANDICAP ZONE	HANDICAPPED PARKING VIOLATION	\$50.50
ORDIN.0-269N20005499.0	304.024-001N199654 - STOPPED OR PARKED VEH IN PROHIBITED AREA ESTABLISHED BY HWY COMMISSION	PARKED IN "NO PARKING" ZONE	\$50.50
ORDIN.0-288N20005499.0	on Maryland Heights - "Expired License Plates"	EXPIRED PLATES	\$50.50
ORDIN.0-289N20005499.0	301.020-001N198654-FAILURE TO REGISTER MTR VEH	FAILED TO REGISTER VEHICLE	\$50.50
ORDIN.0-290N20005499.0	301.190-001N200954 - OPERATED MTR VEH/TRL THAT NO TITLE HAS BEEN ISSUED FOR BY DIR. OF REV. SINCE VEH WAS ACQUIRED/BUILT. 307.350-001N201754 - FAILED TO DISPLAY CERTIFICATE OF VEHICLE INSPECTION OR APPROVAL	VEHICLE LICENSE/INSPECTION/TITLE	\$50.50
ORDIN.0-293N20005499.0	307.178-001N199754-Driver/Front Seat Passenger Fail To Wear Properly Adjusted/Fastened Safety Belt	DRIVER OF MOTOR VEHICLE FAILED TO WEAR PROPERLY ADJUSTED/FASTENED SAFETY BELT	\$10.00

ORDIN.0-294N20105499.0	307.179-001N200654-DRIVER FAIL TO SECURE CHILD 80 LBS OR MORE OR OVER 4'9" IN BOOSTER SEAT/SAFETY BELT	DRIVER FAIL TO SECURE CHILD 80 POUNDS OR MORE OR OVER 4 FEET 9 INCHES IN BOOSTER SEAT OR SAFETY BELT	\$10.00
ORDIN.0-295N20105499.0	307.179-002N200654-DRIVER FAIL TO SECURE CHILD < 8 YEARS OLD IN CHILD RESTRAINT OR BOOSTER SEAT	DRIVER FAIL TO SECURE CHILD LESS THAN 8 YEARS OLD IN A CHILD RESTRAINT OR BOOSTER SEAT	\$49.50
ORDIN.0-296N20005499.0	307.178-002N199754-PERSON UNDER AGE 18 OPERATING OR RIDING IN A TRUCK FAILED TO WEAR PROPERLY ADJUSTED AND FASTENED SAFETY BELT	PERSON LESS THAN 18 YEARS OF AGE OPERATING/RIDING IN TRUCK FAILED TO WEAR PROPERLY ADJUSTED/FASTENED SEAT BELT	\$10.00
ORDIN.0-297N20005499.0	307.178-001N199754 - Driver/Front Seat Passenger Fail To Wear Properly Adjusted/ Fastened Safety Belt	SEATBELT VIOLATION-OTHER	\$10.00
ORDIN.0-316N20005499.0	304.010-002N199954 - EXCEEDED POSTED SPEED LIMIT (EXCEEDED BY 1-5 MPH)	EXCEEDED POSTED SPEED LIMIT (1-5 MPH OVER)	\$50.50
ORDIN.0-317N20005499.0	304.010-003N199954 - EXCEEDED POSTED SPEED LIMIT (EXCEEDED BY 6-10 MPH)	EXCEEDED POSTED SPEED LIMIT (6-10 MPH OVER)	\$60.50
ORDIN.0-318N20005499.0	304.010-004N199954 - EXCEEDED POSTED SPEED LIMIT (EXCEEDED BY 11-15 MPH)	EXCEEDED POSTED SPEED LIMIT (11-15 MPH OVER)	\$70.50
ORDIN.0-319N20005499.0	304.010-005N199954 - EXCEEDED POSTED SPEED LIMIT (EXCEEDED BY 16-19 MPH)	EXCEEDED POSTED SPEED LIMIT (16-19 MPH OVER)	\$100.50
ORDIN.0-320N20005499.0	304.010-006N201154 - EXCEEDED POSTED SPEED LIMIT (EXCEEDED BY 20 - 25 MPH)	EXCEEDED POSTED SPEED LIMIT (20-25 MPH OVER)	\$155.50
ORDIN.0-379N20005499.0	304.016-007N197554-INCREASED SPEED WHILE BEING PASSED	INCREASED SPEED WHILE BEING PASSED	\$80.50
ORDIN.0-388N201654__0	301.140-001N200954-DISPLAYED/POSSESSED MTR VEH/TRL PLATES OF ANOTHER PERSON	DISPLAY/POSS PLATES OF ANOTHER	\$50.50
ORDIN.0-389N201654__0	301.320-001N200954 - DISPLAYED UNLAWFUL PLATE/PLACARD ON MTR VEH/TRL	DISPLAY UNLAWFUL PLATES	\$50.50

ORDER

1. I am a judge of the _____ municipal division of the circuit court for the _____ Judicial Circuit of Missouri.

2. I have original jurisdiction over animal control violations, housing violations and/or traffic violations in this municipal division.

3. By this court order, I am establishing a violations bureau (subject to the supervision of the circuit court) that includes (check all that apply):

☐ Animal control violations

☐ Housing violations

☐ Traffic violations

4. I hereby designate _____ as the violations bureau clerk. It shall be his/her duty to accept appearances, waiver of trials, pleas of guilty, and payment of fine and costs for the designated violations, enter the pleas on the record, and transmit the violation records as required by law.

5. I hereby adopt the Uniform Fine Schedule established by Rule 37.495.

6. A person may pay the specified amount of the fine and costs to the bureau in person, by mail, or through an electronic payment system before the court date and time for the initial court appearance. Said payment constitutes a guilty plea and waiver of trial.

Judge, Municipal Division

ORDINANCE	DESCRIPTION OF VIOLATION	FINE + COSTS = TOTALS
24-3	Obstructing Traffic	75.50 + 31.50 = 107.00
26-52	Failure to Comply with Police Officer or Fire Department Officials	150.50 + 31.50 = 182.00
26-127	Failure to Stop for Steady Red Light	75.50 + 31.50 = 107.00
26-128	Pedestrian Fail to Obey Walk or Don't Walk Signal	60.50 + 31.50 = 92.00
26-130	Failure to Stop for Flashing Red Light	75.50 + 31.50 = 107.00
26-131	Display Unauthorized Signs, Signals or Marking	193.50 + 31.50 = 225.00
26-132	Interference with Traffic Control Device/Railroad Sign or Signal	75.50 + 31.50 = 107.00
26-134	Failure to Drive within Designated Traffic Lane	75.50 + 31.50 = 107.00
26-136	Wrong way on a One Way Street	75.50 + 31.50 = 107.00
26-138	Motor Vehicle Prohibited on Recreation Trail	75.50 + 31.50 = 107.00
26-156	No Muffler - Muffler Cutout	75.50 + 31.50 = 107.00
26-157	Defective Horn; Brakes and Mirrors	75.50 + 31.50 = 107.00
26-158	Use of Tow Lines	75.50 + 31.50 = 107.00
26-159	Projections on Vehicle	75.50 + 31.50 = 107.00
26-160	Bumper Requirement	75.50 + 31.50 = 107.00
26-161	Vision Obscuring Material	75.50 + 31.50 = 107.00
26-177	Use of Headlights	50.50 + 31.50 = 82.00
26-178	Headlights Required	50.50 + 31.50 = 82.00
26-179	Light Color Restrictions	75.50 + 31.50 = 107.00
26-180	Auxiliary Lamps Restrictions	75.50 + 31.50 = 107.00
26-181	Cowl, Fender, Running Board and Backup Lights	75.50 + 31.50 = 107.00
26-182	Spotlamps	75.50 + 31.50 = 107.00
26-183	Lamps Illuminating Devices	75.50 + 31.50 = 107.00
26-184	Flashing Lights Prohibited	75.50 + 31.50 = 107.00
26-185	Total of Lamps Lighted	50.50 + 31.50 = 82.00
26-186	Single Beam Headlights; Intensity; Adjustment	50.50 + 31.50 = 82.00
26-187	Multiple-Beam Headlamps; Arrangement	75.50 + 31.50 = 107.00
26-188	Intermediate Beams; Requirements	75.50 + 31.50 = 107.00
26-190	Dimming Headlights	50.50 + 31.50 = 82.00
26-191	Rear Lights Required	50.50 + 31.50 = 82.00
26-193	Rear Reflectors on Motorcycles	50.50 + 31.50 = 82.00
26-177	No Headlights as required	50.50 + 31.50 = 82.00
26-177 - 2	No Headlights during weather or fog	10.00 - Only
26-211	C & I Driving	100.50 + 31.50 = 132.00
26-212	Fail to Drive on Right Half of Roadway (Non-Accident)	75.50 + 31.50 = 107.00
26-212 - d	Driving Around Barricades or Failure to Obey Temporary Sign	75.50 + 31.50 = 107.00
26-213	Improper Passing (Non-Accident)	75.50 + 31.50 = 107.00
26-214	Following Too Closely (Non-Accident)	75.50 + 31.50 = 107.00
26-215	Improper Turn (Non-Accident)	75.50 + 31.50 = 107.00
26-216	Making Prohibited Turn (non-Accident)	75.50 + 31.50 = 107.00
26-217	Fail to Signal a Turn	50.50 + 31.50 = 82.00
26-218	Fail to Yield Right of Way (Non-Accident)	75.50 + 31.50 = 107.00
26-219	Moving Without Reasonable Safety (Non-Accident)	75.50 + 31.50 = 107.00
26-220	Fail to Cover or Secure a Load	100.50 + 31.50 = 132.00
26-221	Parked Vehicle Emitting Offensive Odors	75.50 + 31.50 = 107.00
26-223	Opening Doors on Motor Vehicle on Moving Traffic Sides	75.50 + 31.50 = 107.00
26-224	School Buses - Meeting/Overtaking a Stopped School Bus	100.50 + 31.50 = 132.00
26-227	Driving too Slowly/Impeding Traffic	75.50 + 31.50 = 107.00

SPEEDING: Posted - School - Construction Zone

26-228	1 - 5 miles over - Posted Speed Limit	25.50 + 31.50 = 57.00
	1 - 5 miles over - School or Construction Zone	75.50 + 31.50 = 107.00
	6 - 10 miles over - Posted Speed Limit	60.50 + 31.50 = 92.00
	6 - 10 miles over - School or Construction Zone	110.50 + 31.50 = 142.00
	11 - 15 miles over - Posted Speed Limit	80.50 + 31.50 = 112.00
	11 - 15 miles over - School or Construction Zone	130.50 + 31.50 = 162.00
	16 - 20 miles over - Posted Speed Limit	105.50 + 31.50 = 137.00
	16 - 20 miles over - School or Construction Zone	155.50 + 31.50 = 187.00
	21 - 25 miles over - Posted Speed Limit	150.50 + 31.50 = 182.00
	21 miles and over - School or Construction Zone	Mandatory Ct Appearance
	26 - 30 miles over - Posted Speed Limit	250.50 + 31.50 = 282.00
	31 miles and over (Posted - School - Construction)	Mandatory Ct Appearance

DESCRIPTION OF VIOLATIONS - Continues

26-229	Seat Belt	10.00 - Only
26-230	Child Restraint	25.00 + 31.50 = 56.60
26-232	Minors Riding in Open Bed of a Pickup Truck	100.50 + 31.50 = 132.00
26-233	Exhibition Driving	75.50 + 31.50 = 107.00
26-283	Fail to Stop at Stop Sign	75.50 + 31.50 = 107.00
26-284	Fail to Yield Right-of-Way after Stopping (Non-Accident)	75.50 + 31.50 = 107.00
26-285	Fail to Yield Right-of-Way at Yield (Non-Accident)	75.50 + 31.50 = 107.00
26-286	Fail to Yield Right-of-Way (Non-Accident)	75.50 + 31.50 = 107.00
26-287	Obedience to Signal Indicating Approaching Train	75.50 + 31.50 = 107.00
26-306	Pedestrian - Subject to Traffic Control Devices	50.50 + 31.50 = 82.00
26-307	Pedestrian - Fail to Yield Right of Way at Crosswalk (Non-Accident)	75.50 + 31.50 = 107.00
26-308	Pedestrian - Use of Right Half of Crosswalk	50.50 + 31.50 = 82.00
26-309	Pedestrian - Crossing at Right Angles	50.50 + 31.50 = 82.00
26-310	Pedestrian - When They Should Yield	50.50 + 31.50 = 82.00
26-311	Pedestrian - Prohibited Crossing (Non-Accident)	75.50 + 31.50 = 107.00
26-312	Pedestrian - Obedience to Bridge and Roadroad Signals	75.50 + 31.50 = 107.00
26-313	Pedestrian - Prohibited Walking In the Street	75.50 + 31.50 = 107.00
26-332	Tampering with Motor Vehicle	193.50 + 31.50 = 225.00
26-333	Restrictions on Operators License	75.50 + 31.50 = 107.00
26-333	No Valid Motorcycle License	150.50 + 31.50 = 182.00
26-333	No Valid Operators License (1st Offense)	150.50 + 31.50 = 182.00
26-334	Permitting Unlicensed Operator to Drive	75.50 + 31.50 = 182.00
26-335	Operating Unlicensed or Expired Plates	50.50 + 31.50 = 82.00
	2nd Offense within 12 months	75.50 + 31.50 = 107.00
	3rd Offense Within 12 months or more	100.50 + 31.50 = 132.00
26-336	Driving Through Processions	100.50 + 31.50 = 132.00
26-340	Following/Park near a Fire Apparatus while on an Emergency Call	75.50 + 31.50 = 107.00
26-341	Driving Over Fire Hose	150.50 + 31.50 = 182.00
26-343	Driving on Sidewalk	75.50 + 31.50 = 107.00
26-344	Improper Backing (Non-Accident)	75.50 + 31.50 = 107.00
26-345	Carrying Passenger on Motorcycle in Excess on Design	50.50 + 31.50 = 82.00
26-346	Motorcycle Helmet	25.00 - Only
26-347	Riding Bicycle on sidewalk	50.50 + 31.50 = 82.00
26-348	Railroad Trains not to Block Streets	75.50 + 31.50 = 107.00
26-352	Cut-Across Parking Lot to Avoid Intersection (Non-Accident)	75.50 + 31.50 = 107.00
26-354	Motor Vehicle Financial Responsibility	150.50 + 31.50 = 182.00
26-373	Unlawful for Intercity Buses to Drop off/Pickup in Unauthorized Area	50.50 + 31.50 = 82.00
26-392	Operating Motorized Bicycle on Certain Streets w/o License	50.50 + 31.50 = 82.00

26-392	Operating Motorized Bicycle in a Speeding Zone greater then 35 mph	100.50 + 31.50 = 132.00
26-393	Motorized Bicycle Equipment Required	50.50 + 31.50 = 82.00
26-394	Motorized Bicycle Brakes Required	50.50 + 31.50 = 82.00
26-395	Motorized Bicycle Lights & Reflector Required	50.50 + 31.50 = 82.00
26-397	Motorized Bicycle Required Ride as Near to the Right as Practicable	50.50 + 31.50 = 82.00

Handicapped Parking

26-260	If paid within 7 days of issuance	50.00 - Only
	If paid 8 or more days after issuance	100.50 + 31.50 = 132.00

All Other Parking

17-52 & Chapter 26-246 - 259 & 261-262	30 days and under	35.00 - Only
	31 days and over	45.00 + 31.50 = 76.50

Animals

6-26	Leash Requirement 1st Offense, ONLY and NO BITE	75.50 + 31.50 = 107.00
6-27	No City Dog License	50.50 + 31.50 = 82.00